

CITY CLERK
GLOUCESTER, MA

2018 NOV -1 AM 8: 01



GLOUCESTER CITY COUNCIL
Planning & Development Committee

Wednesday, November 7, 2018 – 5:30 p.m.

Kvrouz Auditorium – City Hall

(Items May be taken out of order at the discretion of the Committee)

AGENDA

1. *Memorandum from General Counsel re: technical correction to the Adult Use Marijuana zoning ordinance (Cont'd from 10/03/18)*
2. *Memorandum from Community Development Director re: Renewal of Harbortown (Downtown) Cultural District*
3. *SCP2018-004: Main Street #189, Map 8, Lot 27, GZO Sec. 1.8.3 “Standards to be Applied” and GZO Sec. 2.3.1.7 “Conversion to or new multi-family or apartment dwelling, four to six dwelling units,” 3.1.6(b) “Building Heights in Excess of 35 Feet” and 3.2.2(a) “Minimum lot area per dwelling unit or minimum open space per dwelling unit, or both, may be decreased by special permit” in the CB district (Cont'd from 10/17/18)(TBC 12/05/2018)*
4. *SCP2018-005: Gloucester Crossing Road #1 & #7, Map 262, Lots 13 & 37, GZO Secs. 1.5.3(g) “Drive-Through Facilities” (retail drive-through facility) and 5.17 “Special Regulations; Drive-Through Facility” in the EB district (TBC 12/05/18)*
5. *SCP2018-006: Gloucester Crossing Road #1 & #7, Map 262 Lots 13 & 37, GZO Secs. 1.5.3(g) “Drive-Through Facilities” (coffee shop drive-through facility) and 5.17 “Special Regulations; Drive-Through Facility” in the EB district and 5.17 “Special Regulations; Drive-Through Facility” in the EB district (TBC 12/05/18)*
6. *SCP2018-007: Gloucester Crossing Road #1 & #7, Map 262 Lots 13 & 37, GZO Secs. 1.5.3(c) ““CCS” Special Permits” & (d) “Major Projects” and 5.7 “Major Projects” in the EB district (TBC 12/05/18)*
7. *SCP2018-008: East Main Street #116, Map 59, Lot 53, GZO Secs. 2.3.1(8) “Conversion to or new multi-family or apartment dwelling, seven or more dwelling units”, 3.2.2(fn e) “Distance between principal buildings” and 3.2.2 (fn a) “Minimum lot area per dwelling unit and minimum open space per dwelling”*

COMMITTEE

Chair, Councilor Valerie Gilman
Vice Chair, Councilor Jen Holmgren
Councilor Paul Lundberg

CC: Mayor Theken
Jim Destino
Joanne Senos
Chip Payson
Jill Cahill
Gregg Cademartori

The listing of matters is those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

**CITY OF GLOUCESTER
LEGAL DEPARTMENT**

Memorandum

TO: Mayor Sefatia Romeo Theken
FROM: Chip Payson, General Counsel CP
RE: Adult Use Marijuana Technical Correction
DATE: September 19, 2018

As you may recall, the City Council passed the Adult Use Marijuana zoning ordinance on Tuesday, September 11, 2018. At that meeting, there was an amendment offered and accepted (see footnote 2 below) that included medical marijuana treatment centers in the list of businesses that required a special council permit. A further technical correction is needed to remove medical marijuana treatment centers from the paragraph that allows them by right (see footnote 1 below). The Zoning Ordinance, including the approved September 11 amendment and the proposed technical correction, is as follows:

Section 5.31.4 – Use Allowance and Special Permit Procedures

Marijuana establishments including marijuana cultivators, marijuana testing facilities, marijuana product manufacturers, ~~medical marijuana treatment centers~~¹ and conversions of medical marijuana treatment centers shall be permitted in zoning districts as identified in Section 2.3 with Site Plan Approval by the Planning Board pursuant to Section 5.8 of the Zoning Ordinance.

The City Council may grant a Special Permit and the Planning Board may grant a Site Plan Approval for a medical marijuana treatment center as defined in M.G.L. c. 94I or² a retail marijuana establishment as defined in M.G.L. c. 94G in the zoning district(s) identified in Section 2.3 in accordance with the procedures set forth in Section 1.5 and Section 5.8 of the Zoning Ordinance and subject to the standards set forth in this section and the general criteria for granting a special permit contained in section 1.8.3 of the Zoning Ordinance.

Please forward this to the Planning Board and the City Council for their consideration and the appropriate action.

Thank you.

¹ NEW action that needs to be taken.

² Action that was taken by City Council on Tuesday, September 11, 2018.

City Hall Annex
3 Pond Road
Gloucester, MA 01930



JILL CAHILL
DIRECTOR
TEL 978-325-5240
jcahill@gloucester-ma.gov

CITY OF GLOUCESTER
COMMUNITY DEVELOPMENT DEPARTMENT

TO: Mayor Sefatia Romeo Theken
FROM: Jill Cahill, Community Development Director
DATE: October 17, 2018
RE: Renewal of Harbortown (Downtown) Cultural District

As you know, in January the City filed a Letter of Intent with the Massachusetts Cultural Council (MCC) – Cultural Districts Initiative to renew the Downtown Harbortown Cultural District (DHCD) designation. Over the past several months the Community Development Department has engaged with the MCC and DHCD partners to reaffirm our commitment to the re-designation of this important cultural hub.

Attached is the original City Council motion designating the district along with the 2018 Annual Report which includes its purpose and goals. The DHCD set ambitious goals to be accomplished over the first five years and continues to report on its successes and on-going efforts.

Any municipality applying for re-designation of a cultural district must hold a public hearing regarding such a designation and pass a resolution reaffirming the designated cultural district. I respectfully request that you ask the City Council to join you in supporting the re-designation of the DHCD and to pass a resolution demonstrating this support. Representatives of DHCD and staff are available to answer any questions.



**Gloucester City Council
CERTIFICATE OF VOTE
Certificate Number: 2012-225**

The Gloucester City Council, at a meeting held on Tuesday, November 13, 2012 at 7:00 p.m. in the Kyrouz Auditorium, City Hall, voted to approve the following:

IN CITY COUNCIL:

MOTION: On motion by Councilor Verga, seconded by Councilor Ciolino, the City Council voted BY ROLL CALL 8 in favor, 0 opposed, 1 (Tobey) absent, to adopt a RESOLUTION by the City of Gloucester, Massachusetts to create a state-authorized cultural district as shown on the map presented and incorporated by reference, for at least (5) years, to be named:

Downtown Gloucester Cultural District

WHEREAS, the City wishes to pursue a state-authorized cultural district through the enabling legislation Massachusetts General Laws, Chapter 10, Section 58A.

WHEREAS, the City has a mixed-use geographical area that has a concentration of cultural facilities and assets.

WHEREAS, the City has held a public hearing and adopted a resolution proclaiming its interest in establishing a state-designated cultural district.

WHEREAS, the City has created a broad and diverse partnership of stakeholders committed to cultural, community and economic development to provide oversight of the district.

WHEREAS, the Massachusetts Cultural Council will be petitioned in accordance with its guidelines and criteria to designate said cultural district.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Gloucester that the City of Gloucester:

Article 1. Endorses the submission of this application and agrees to foster the development of a cultural district.

Article 2. Endorses the state-sponsored cultural district goals: attracting artists and cultural enterprises, encouraging business and job development, establishing tourist destinations, preserving and reusing historic buildings, enhancing property values and fostering local cultural development.

Article 3. Will appoint a city official to represent the city within the district partnership of said cultural district.

A TRUE COPY ATTEST
[Signature]

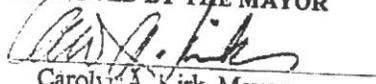
Article 4. Encourages all who own property or businesses within said cultural district to involve themselves and participate in the full development of the cultural district.

Article 5. Directs city agencies to identify programs and services that could support and enhance the development of the cultural district and ensure that those programs and services are accessible to the cultural district.


Linda T. Lowe, City Clerk

Date: NOV 15 2012

APPROVED BY THE MAYOR


Carolyn A. Kirk, Mayor

VETOED BY THE MAYOR

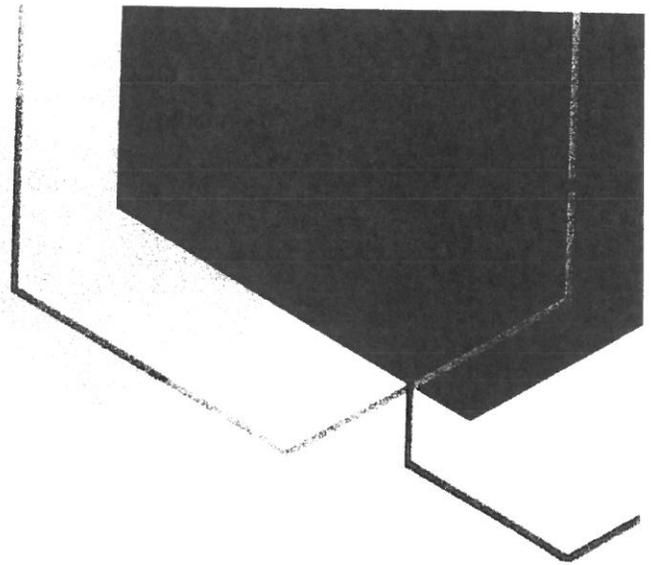
Carolyn A. Kirk, Mayor

SIGNED THIS 15 DAY OF NOV., 2012

All Ordinances shall become effective 31 days after passage except:
Emergency Orders and Zoning Amendments shall become effective the next day.

A TRUE COPY ATTEST



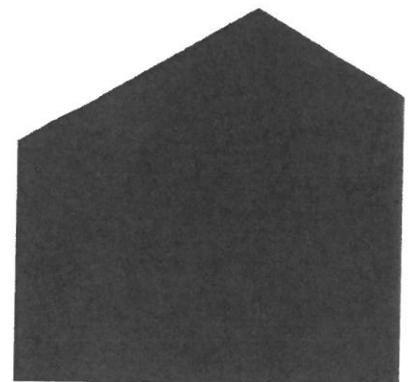
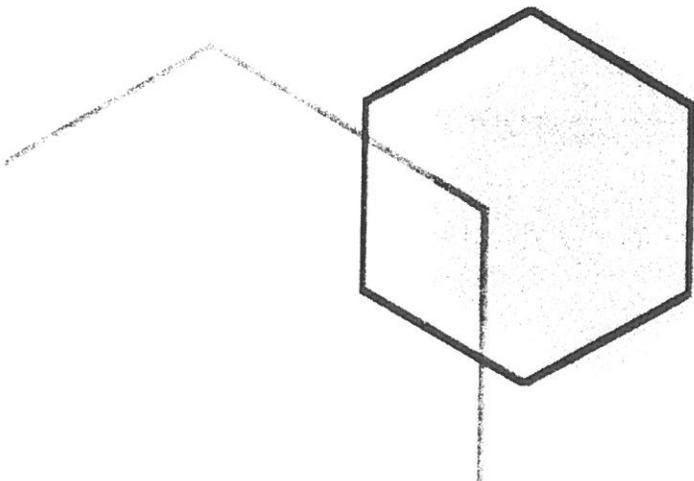


Gloucester, Massachusetts Downtown “Harbortown” Cultural District

ANNUAL REPORT

January, 1 2017 – July 1, 2018

The Massachusetts Cultural Council reporting requirements stipulate that a report be submitted at the end of the first 12 months after designation and yearly thereafter. The impact of a cultural district is tangible and measurable. In the first year, all designated cultural districts must gather the following baseline data: visitors and building occupancy rate. Harbortown Cultural District has years of baselines because of vigorous and organized prep from the initial MCC application process, the length of time it took to ready that and the first partner survey. We will resume this level of analysis in 2018-19. We look forward to district renewal, and a name and footprint adjustment.



GOALS

This district has reached its fifth year milestone. We have tracked short and long term goals as outlined in our MCC applications – including baselines – from as far back as 2012. Please note: the downtown district considers residents, tourists and employees all visitors. This report is meant to be read with the cultural district detailed baselines tracking, and its vacancy/occupancy walking audit results found here: <https://goo.gl/q9X7FW>

SHORT TERM GOALS

1. Preserve integrity of downtown – Main Street and gorgeous working harbor (no cookie cutter) – while enhancing its role as a center for exceptional arts, culture, and innovation
2. Provide access to arts/culture experiences for all residents
3. Increase walking traffic (besides lingering and economic boost, also in keeping with healthy Gloucester initiatives and Gloucester Green goals
4. Draw in youth/student and young adults as patrons and artists
5. Enliven street and other public space with arts and cultural activities in places not currently utilized
6. Support maintaining parks and the use of public buildings such as continued restoration of historic FHL house, City Hall, Stage Fort Park, and the American Legion
7. Bring attention to needed amenities for residents and visitors such as more WiFi, restroom access and tourism booths
8. Possibly establish incubator/center for more arts and culture
9. Encourage buying local
10. Facilitate movement between and among Harbortown and outlying areas, neighborhoods, other cultural districts, communities and towns
11. Harness the good work and foundation of prior City, community and group development plans and integrate them with fresh proposals and work yet to come

LONG TERM GOALS

1. Study and compare measured results and potential demands
2. Increase the number of artists, arts and culture groups
3. See results from reaching out to youth/mentoring
4. Through collaborative communication, marketing/outreach, continued programming and official designation; foster the interests of future artists and patrons to come downtown and to other districts so the cycle can continue

REPORT CONTENTS

-SHORT-TERM GOALS-
pages 2 - 10

-LONG-TERM GOALS-
pages 10 - 11

-MARKETING GOALS-
pages 12 - 13

1. Mobile presence and data analysis
2. Collaborate on familiarization tours for press and freelance writers
3. Explore hospitality training program for local personnel
4. Investigate multi lingual marketing opportunities
5. Train students and seniors as walking ambassadors and event supporters
6. Buy local marketing and promotional support

-MEASURABLE-

-BENCHMARKS-

pages 14 - 19



SHORT TERM GOALS

INDICATE INCREASED, DECREASED, SAME, OR N/A AT THIS TIME AS COMPARED WITH LAST REPORT



1. Preserve integrity of downtown – Main Street and gorgeous working harbor (no cookie cutter) – while enhancing its role as a center for exceptional arts, culture, and innovation

INCREASED

NEW additions include:

- **Gloucester Fresh** highlights our culture and industry and has impacted economy directly
- A (square feet known? multistory) state of the art research center, **Gloucester Marine Genomics Institute**, broke ground at ____ Main Street right at our water's edge.



2. Provide access to arts/culture experiences for all residents

INCREASED TREMENDOUSLY!

Mayor Romeo Theken has increased access for to arts/cultural experiences throughout Gloucester neighborhoods. "Everyone's art means different styles". Mayor Romeo Theken emphasizes all the FREE arts and cultural offerings in Gloucester -- in the summer months alone the City has partnered hosting something nightly. For this downtown cultural district area, access to public spaces at City Hall has increased tremendously and the Legion and Stacy Boulevard have surged, too. 2017 examples include:

- **The Mayor's Fall Harvest Festival Party at City Hall** (Halloween) increased 3 fold in 3 years- OVER 1200 CHILDREN counted Oct 2017 and that its arts and cultural



offerings with: dance schools offering pop up "how to" dance instruction; music performances; story times; jewelry making; and more through the halls and all spaces of the building. The downtown Harvest Festival in partnership with Addison Gilbert has grown as well.

- Mayor brought contemporary public art commission to City Hall - **Stephanie Benenson Harbor Voices installation** at City Hall ("*Come experience a sweeping ocean of sound, stories and light, drawn by the voices and acts of generosity of neighbors and friends*") first in state for sound and light social sculpture at a municipal center and Mayor Theken was her first interview; Also first of its kind art fair, **Cape Ann Reads**, celebrating local artists and writers producing original children's picture books (hundreds celebrated at City Hall January 2018); **Jason Grow's veterans art exhibit** was brought back and built out with 9/11 survivors
- **Masterful public works project** and re-opening of Stacy Boulevard with Tulip Festival and expanded garden designs
- **More school groups** and organizations marking events, milestones showcased at City Hall.
- **New events and expanded beloved traditions and festivals:** Stand Up Paddle Board brought new sports competition and celebration downtown; The Mayor reports **Schooner Festival** expanded last year and adding more this year notably a Revolutionary War re-enactment; **HarborWalk Summer Cinema** 5th year; Bluefin Blowout rapid growth; **Block Parties now administered by Chamber** for City and continue to be smashing success; The **Middle Street Walk** anniversary was greatly expanded; Essex Trails and Sails fall weekends
- **Wayfinding-** new signage at beaches under direction of Patti Amaral with designer and featuring Cape Ann group photographs plus mural renovation by downtown fine artist Jason Burroughs.
- **Partner programming is outstanding annually- Please make certain to review the district's 2017 newsletter.** Here are a few additional samples from 2017 partner updates:

Founding Partner CAPE ANN MUSEUM calls out Saturday, May 13, 2017 The Gloucester Public Schools Student Arts Festival, sponsored by Gloucester Education Foundation and the Schools, one-day celebration of locally grown arts as an annual highlight. Student work is on display at the Sawyer Free Library, Gloucester City Hall, the Cape Ann Museum and in many outdoor public spaces in the District. Musical performances and student theater is also featured. The event brings close to 1,000 residents downtown each year; **Saturday, September 23, 2017 Essex Heritage Trails & Sails Weekend: The Cape Ann Museum** celebrated the "200th Anniversary of the sighting of the Gloucester Sea Serpent." We collaborated with Maritime Gloucester to offer a family program where we read a story about the sea serpent, created a large and mobile "serpent" out of recycled materials in the Museum courtyard and paraded it through Harbor Loop to the wharf at Maritime Gloucester; **Cape Ann Museum Walking Tours**

grow each year- Every Friday and Saturday throughout summer and early fall, CAM docents offer a variety of walking tours for visitors and residents which wind their way through the Downtown Cultural District. The hour-hour ½ tours cover topics such as: Edward Hopper's Houses, The Bones of Homes: An Overview of Architectural Styles; Historic Middle Street; An introduction to Public Sculpture; Fitz Henry Lane's Waterfront. **The Cape Ann Museum also hosted a number of exhibitions that had strong connections to the District (featured the District as subject matter, in fact):**

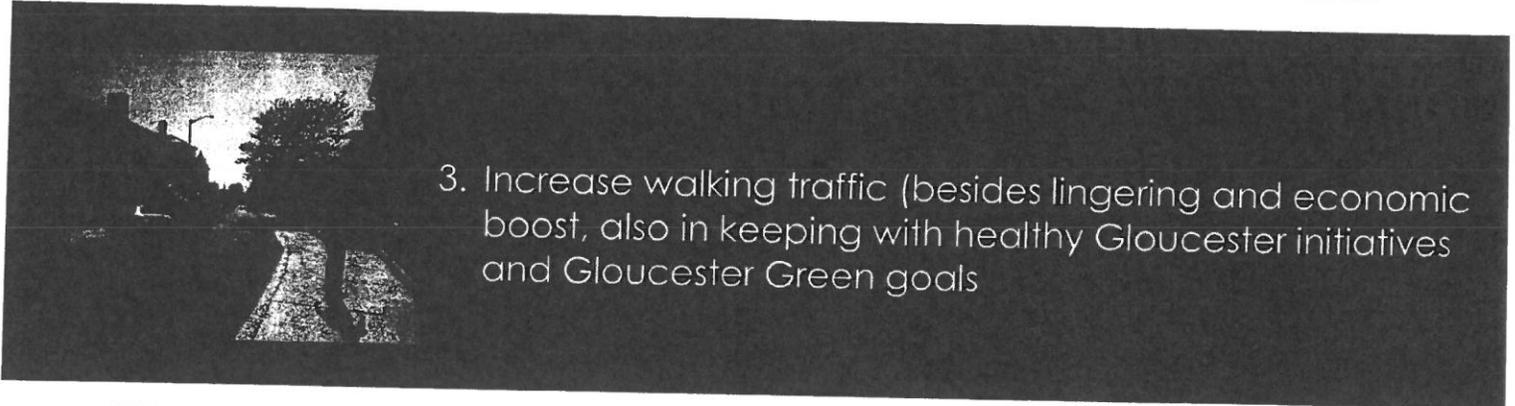
- Voicing the Woods: Jeremy Adams, Instrument Maker (October 2016-March 2017)
Programming around this exhibition included an organ crawl down Middle Street, with mini concerts on the organs in 3 different churches.
- Charles Movalli: Cape Ann and Beyond (March-May 2017)
- RockBound: Painting the American Scene on Cape Ann and along the Shore (June-October, 2017)
- Harbor Views: A selection of paintings featuring the Harbor and City skylines (November 2017-Spring 2018)
- Drawn from Nature and on Stone: The Lithographs of Fitz Henry Lane (October 2017-March 2018)

Founding partner, Cape Ann TV reports that "in the last year Cape Ann Television concluded its renegotiation with Comcast, resulting in a strong 10-year contract that will allow the community media center to expand its programs and services. Along with the new contract, CATV recently rebranded and is now 1623 Studios. Please check out the new website at 1623studios.org and register for updates."

New Partner Jane Deering writes that the gallery hosted nine exhibitions during FY2017. For the months January, February, March and April 2017, the gallery space was donated to local artists in an effort to support those artists working and living on Cape Ann. The concept of donating the gallery continues and provides much needed exhibition space for both emerging and established painters, print makers, sculptors, photographers, performance and conceptual artists. Among the Gloucester artists whose work was exhibited in FY2017 were: Geoffrey Bayliss, Melissa Cooper, Anne Marie Crotty, Leon Doucette, Celia Eldridge, David Hruby, Mary Rhinelanders McCall, Adin Murray, Ken Riaf, Juni Van Dyke, Erma Wheeler.

Partner and fine artist Juni VanDyke curated an exhibition at Flatrocks Gallery which brought some downtown artists to Lanesville display "*Closely Related: An exhibit that attempts to identify and examine artistic elements that appear congruently in works by artists related by friendship or marriage, or by filial kinship, or by the duality of artist and place or...other. The following artists have contributed to the exhibition: Kathleen Gerdon Archer; Shelly Champion; Loren Doucette; Paige Farrell; Jay McLaughlan; Barbara Moody; Hans Pundt; Lynne Sausele; Patti Sullivan; and Curator, Juni VanDyke.*

New Partner Pauline Bresnahan shares that her business has a new web site www.paulinesgifts.com and impact of the Woman Owned Businesses on the Essex Coastal Scenic Byway Award from the tour she co-founded. They were featured on Chronicle and in many local newspapers on the North Shore. Pauline helped Gloucester achieve Top 10 American Craft towns award. She partnered downtown with local businesses; also with Cape Ann Veterans notably creating the posters about the flags on the Boulevard and Memorials.



3. Increase walking traffic (besides lingering and economic boost, also in keeping with healthy Gloucester initiatives and Gloucester Green goals

INCREASED

- Gloucester Department of Public Works added miles of safer streets and sidewalks, and is ever mindful of aesthetics. Middle Street was just completed as well as Maplewood and Railroad Avenues which were without sidewalks. Mass in Motion grants were instrumental.
- Mayor Romeo Theken brought healthy walking partnership for the municipal staff
- More outside activities are available downtown (e.g. kayaking)
- City-senior center-YMCA partnerships continue to bring healthy programming for seniors and youth
- Another Gloucester DPW project that should be nationally recognized is the Stacy Boulevard Western side build out which re-opened in 2017 (This took 20+ years of planning and two years closure necessary to re-engineer that end of the seawall) This famous promenade encourages walking.
- DPW place making projects are ready (based on plans) when funding is available. One example is the replacement railing along the Eastern side of Stacy Boulevard which includes the wrap around surround for the Fisherman's Memorial, arguably one of Massachusetts most culturally significant public works of art and an international icon.
- Cigarette butlers were installed downtown at determined desire spots.



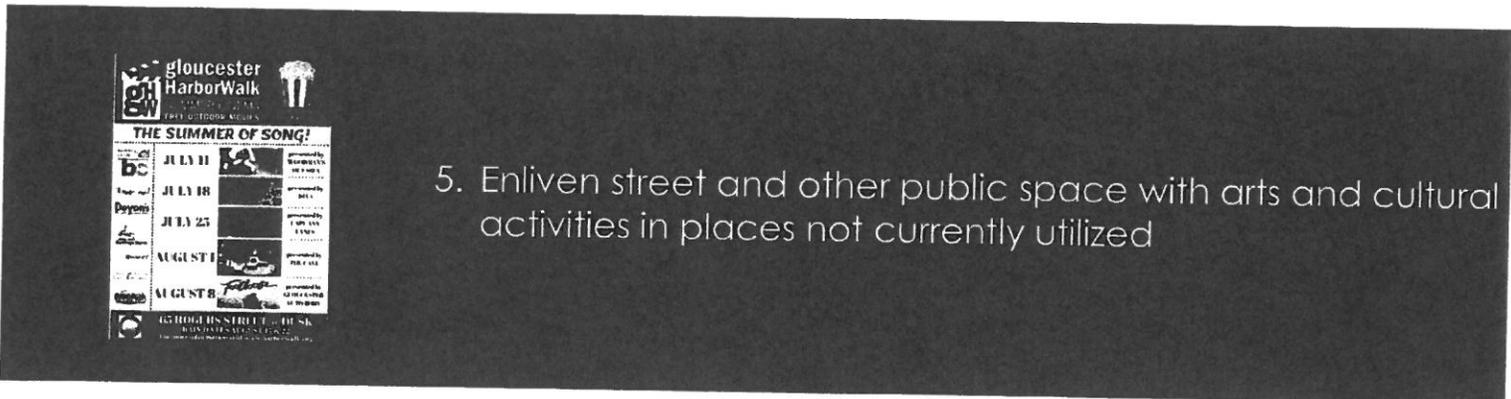
4. Draw in youth/student and young adults as patrons and artists

SAME

The partners are inventive year round! There is no Harbortown directive, initiative or policy, yet.

Mayor Romeo Theken reports that the city announced another grant to Art Haven. Young adult artists 18up and under 30 report difficulty with affordable housing and studio space. Ditto artists who are seniors. The Hive closed. Cape Ann Art Haven is building back with Director Tracy Corbett (after two failed attempts with prior directors since David Brooks). Maritime Gloucester was temporarily scaled back as it said goodbye to Director Tom Balf and conducted a search. They continuously expand their outreach and partnerships, and re-opened with tremendous new touch tanks.

Key anchor partners report increases, because of their creative programming. Heidi Dallin with Gloucester Stage has brought more programs and partnerships downtown; Cape Ann Museum has stellar programs; Children's Services at the library; and the YMCA. Beauport partnered with Cape Ann SUP and offers new seasonal programming as with this summer's Chefs at Sea.



5. Enliven street and other public space with arts and cultural activities in places not currently utilized

SAME - year round action!

Mayor Romeo Theken has increased access for arts throughout Gloucester neighborhoods. Downtown access to public spaces such as City Hall, Legion, Stacy Boulevard has surged-- examples this last year include a national first: Cape Ann Reads art fair celebrating local artists

...

and writers original children's picture books at City Hall; Jason Grow's art exhibit Veterans was brought back and built out with 9/11 survivors; and more school groups and organizations are marking events and milestones.

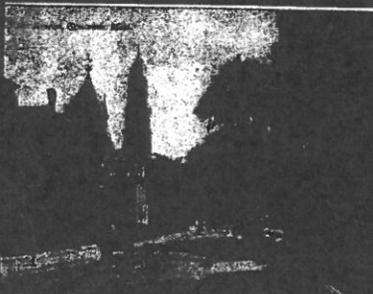
The masterful public works project for Stacy Boulevard re-opened with a Tulip Festival and expanded garden designs.

The Middle Street Walk anniversary was greatly expanded; UU Church Meetinghouse model partnering; block parties are now administered by the Cape Ann Chamber of Commerce with the City and continue to be a smashing success; Cape Ann Cinema and the city host the HarborWalk Summer Cinema which has grown by hundreds and increased sponsors each season. Backyard Growers has had a big impact throughout downtown.

The Gloucester Lyceum and Sawyer Free Public Library's memorial garden amphitheater has fostered creative programming.

Stand Up Paddle Board brought a new sports competition and celebration downtown in partnership with Beauport and the city's beach and harbor. Our district has a harbor!

Mayor Romeo Theken emphasizes all the FREE arts and cultural offerings in Gloucester -- in the summer months alone the City has partnered hosting something nightly.

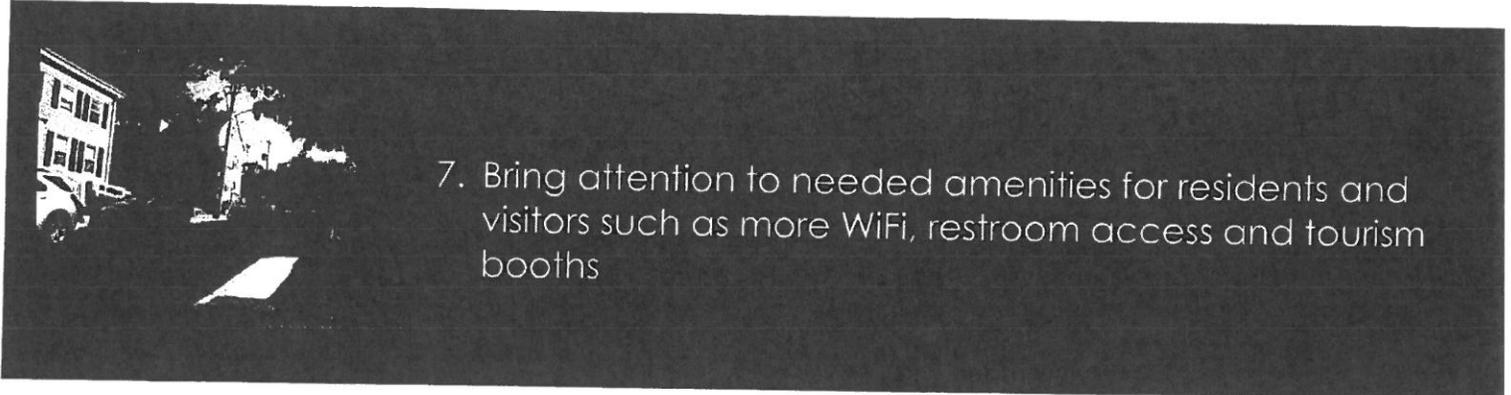


6. Support maintaining parks and the use of public buildings such as continued restoration of historic FHL house, City Hall, Stage Fort Park, and the American Legion

SAME - ongoing

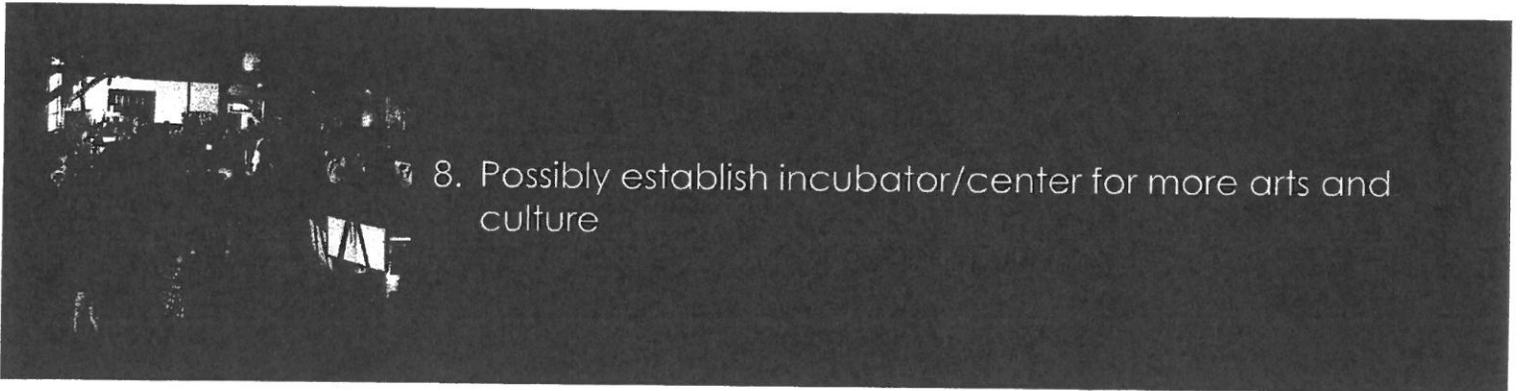
Mayor Romeo Theken has increased access and care for special buildings and open spaces. Care for Burnham Fields has increased.

The Legion and Gloucester's UU Church are active projects



7. Bring attention to needed amenities for residents and visitors such as more WiFi, restroom access and tourism booths

- TOURISM – **SAME**
- INFRASTRUCTURE (pedestrian focus friendly improvements) – **SAME** Bike lines - **SAME**
- RESTROOMS – **SAME**
- MuNi WiFi – **SAME**



8. Possibly establish incubator/center for more arts and culture

SAME

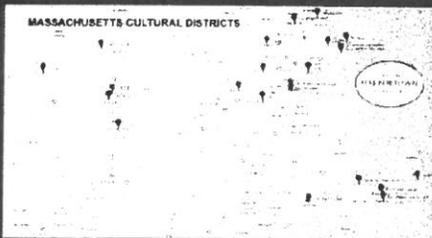
Emphasizing extant wonderful spaces (UU Church, City Hall, Cape Ann Museum, Library)

**BUY
LOCAL.**

9. Encourage buying local

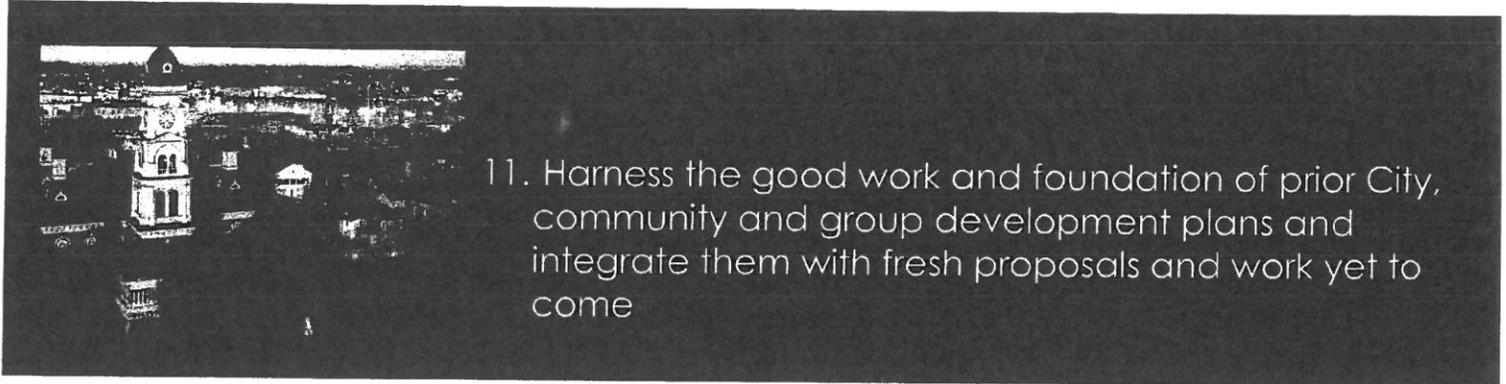
INCREASED

- Gloucester Fresh (now on area menus, too); Sea to Table efforts
- City of Gloucester and partners like Chamber and Downtown Merchants promote "shop local"
- Gloucester America's Top 10 craft designation
- Shop Small Saturdays SBA
- Farm to table initiatives. Cape Ann Farmers Market grows through creative programming and impact
- Meetinghouse Green synergy series (arts and good egg causes fostering community, arts, and help with UU)



10. Facilitate movement between and among Harbortown and outlying areas, neighborhoods, other cultural districts, communities and towns

- Any collaborations with Cape Ann districts? **No**
- Hosted meetings? **No**
- Attended meetings? **YES**, MCC hosted North Shore districts at Beverly and statewide Cambridge and Power of Culture at Rocky Neck
- Invited talks to discuss Gloucester and CDs (among other things) Gloucester as example of things happening – **No**

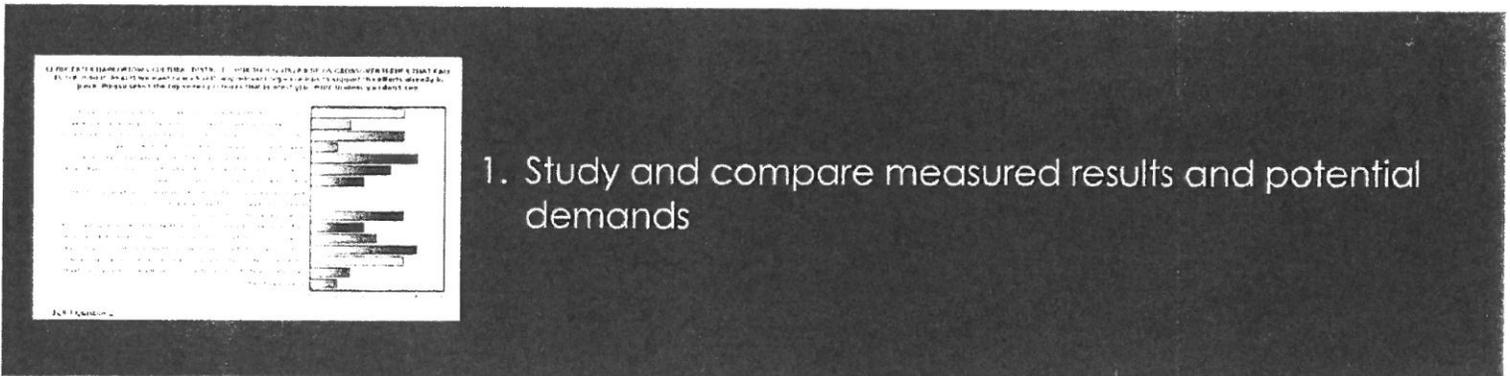


11. Harness the good work and foundation of prior City, community and group development plans and integrate them with fresh proposals and work yet to come

N/A (on hold temporarily)

- Community Development Downtown plan; housing plans; Railroad Avenue plans
- CPA, Seaport Advisory grant, MCC facilities funding still in play within CD
- New work on a new Historic Property survey

LONG TERM GOALS

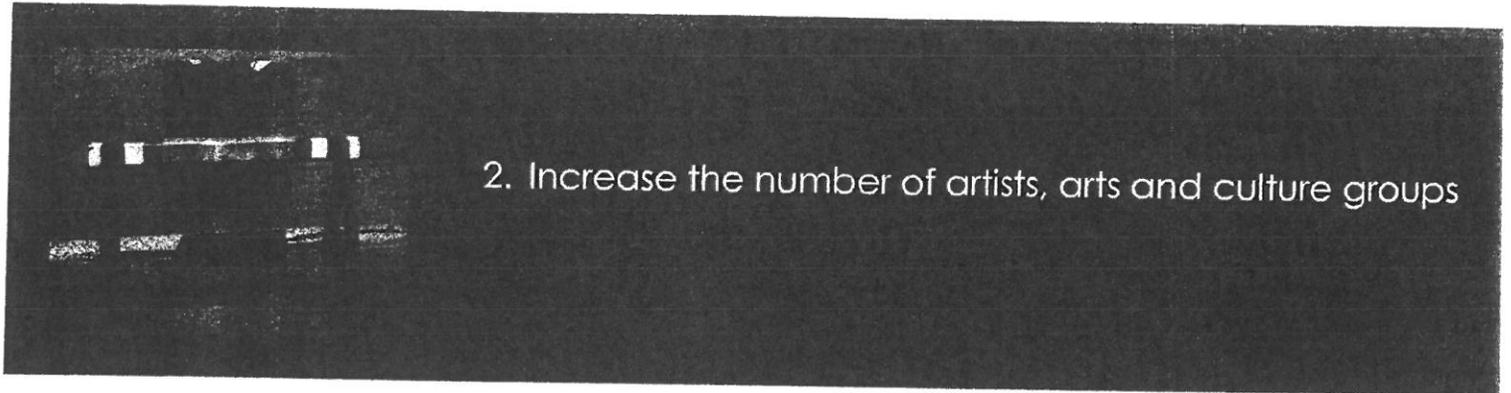


1. Study and compare measured results and potential demands

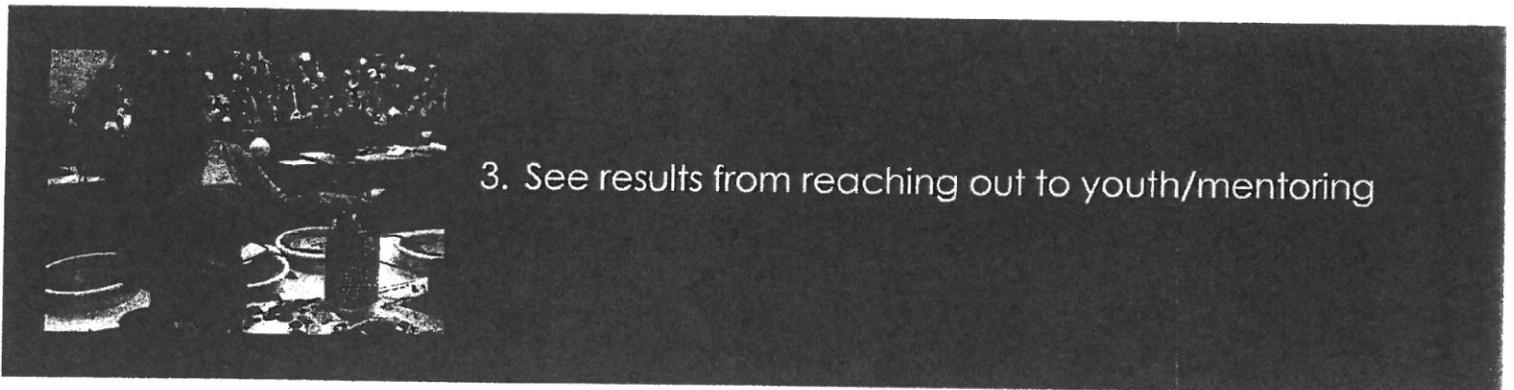
SAME

- 2017 Newsletter gleaned nearly 100% response from partners
- Ongoing excel spreadsheet of tallies and benchmark data from 2012 gap years need to be filled in
- Harbortown Website: placeholder welcome and archives is active
- District renewal application underway
- Partner survey will go out again. Results can be compared against baseline August 2013 survey—which included goals. Questions may include requesting data for any increases in visitation both in person and across digital platforms (2012, 2013, 2014). Results to 2013 survey will be reported and assessed.

...



SAME



DECREASE

Same in that there has been no policy, programming or directive from CD itself yet. May have decreased with TAG – HIVE dissolved.

4. Through collaborative communication, marketing/outreach, continued programming and official designation; foster the interests of future artists and patrons to come downtown and to other districts so the cycle can continue

DECREASED

Several ideas waiting for implementation!

MARKETING GOALS

Same, Increase, Decrease, N/A

1) Mobile presence and data analysis

SAME. Harbortown website (not used) analytics imprints since designation: 16,811 • Cape Ann Cultural District App live since June 1, 2014- DEFUNCT BY 2016. It will not resume. • Though progress updates with founding partners has lost some momentum since August 2013, we had nearly 100% response rate back from partners for the spring 2017 Newsletter. Partners can spotlight their own increases for a more vibrant and accurate expression of this district.

2) Collaborate on familiarization tours for press and freelance writers

N/A. However, assuming increase in Gloucester, because of Innovate, Gloucester Fresh, and Discover Gloucester DMO. Representatives and founding partners provide input in partnership with the City of Gloucester.

3) Explore hospitality training program for local personnel

N/A. Throughout the journey to designation, we felt that this training would be beneficial. We also expected it to be a future goal because of limited time and who would do it. At the time, there wasn't a Tourism Commission. In 2014 it moved forward because of the Tourism Commission which arranged training with all volunteers Visitor Center, and Chamber. They created a lecture series. They created a tour of Gloucester hotels and motels and the cultural district representative created an interactive google map of these businesses. **This part has continued with Discover Gloucester DMO.**

4) Investigate multi lingual marketing opportunities

SAME. The Harbortown website is a Google site which automatically offers Google Translate (so no widget necessary). Cape Ann Chamber of Commerce has added a translate widget for their new website. Printed matter has not been assessed to date.

5) Train students and seniors as walking ambassadors, events support

DECREASED. Not evaluated

6) Supporting marketing/promotion to buy local

INCREASED. Major city initiative, Gloucester Fresh. Accolades like Top American craft city

7) Support other Cultural Districts

DECREASED. Although, willing leader and collaborator with many changes in area and regional cultural districts, and pursuit of accurate map and name. We will certainly reconnect going forward.

8) Communicate entrepreneurial opportunities for artists and small businesses

SAME. 2017 partner updates with emails and newsletters broadcast any such offerings; Opportunities are shared mostly by Mayor; local media like Good Morning Gloucester, Cape Ann Beacon and Gloucester Daily Times; MCC; MOTT; Essex National Heritage; arts organizations like NSAA, Rocky Neck, and seArts; Cultural District aiming to resume shared communication to levels pre 2015 or greater going forward.

PRESS

Holding while we proceed with footprint expansion and name edit

HIGHLIGHTS

2 websites (old one re-directs to new) are live as placeholders mostly until the branding is sorted out (name change and updates)

Marketing highlights include Spring 2017 newsletter which shared partner news and state opportunities; Mayor Romeo Theken made sure Gloucester was represented at the fall 2017 statewide convening and north shore districts regional gathering in Beverly.

Marketing as "Harbortown" has failed but marketing as a district continues. A 2017 highlight was the MCC radio spot for Gloucester's two districts (which said "downtown"). New name, footprint, logo, printed matter, city signs, new mcc signage- all will be assessed with district renewal.



MEASURABLE BENCHMARKS

Vacancy/Occupancy Rates (see excel sheet for details) Main Street

Current YR 2018 (Jan 2017-July 2018)	YR 2017-2016	YR 2016-2015	YR 2014 (covers 2013) First official annual report since designation	YR 2013 (covers 2012- quest for designation)	YR 2012	YR 2011
<p>Increase: 9 vacancies / 106 occupancies (*Main Street only) field notes Walking Audit per baseline completed July 2018 by Community Development summer intern, Ariana Puopolo, including photos of building street fronts (her idea and new this year). Report completed by Catherine Ryan with Mayor Romeo Theken, Jill Cahill and input from partners and stakeholders (2017). Closures include arts and cultural entities such as: Art Boutique (now smoke shop), Eastern Point Lit House (empty), Magic Scarf (now a bank Cross Country Mortgage), State of the Art II (new gallery), The Hive (empty), Common Crow (relocated still empty), Eco (now gallery and artists studios), etc. Expansions, renovations, and relocations include: Pastaio, Sound Harbor, Jalapeno building exterior; and Italiano now Trio. New arts ventures include artists studios upstairs (Hecht), artists studios with Charles Fine Art, MAGMA from Trident Gallery, Jane Deering, goodlinens, new secondhand next to Jane Deering, new gallery next to Kenny Riaf, and Rogers theater space. New cultural eats and retail include Machaca; Drift cafe and bar; new food cart; Design of Mine.</p>	<p>--MCC granted waiver-- also much of it is included in YR2018</p>	<p>--missing--will amend for next report (2019)</p>	<p>Roughly the same (though different properties rented/empty/relocated). Walking audit completed by Catherine Ryan. Also can be crosschecked with data analytics from Community Development new work plans; looking forward to using them in future reports. Thus far, Reports 2011-2014 completed by Catherine Ryan based on and with robust ongoing input from partners, stakeholders and with city staff, this year especially Carol Thistle, community Development. NEW: Mary Rose Antiques & Place next to MRantiques; Eastern Point Lit House; Styles on Main; Trident Gallery; Blue River Diamond; Fabola; Yoga Joy; Gloucester Estate Buyers; TBT ; Short and Main; Orange Leaf; Katrinas; This and That</p> <p>(Vacancies: old Sequined Fan; Camerons; Empire (readying to rent); Aldo Fitness; Lucky 7)</p> <p>Moved: Sage, Hair and Color, Passports closed temporarily for HBO filming!; Sequined Fan now where Pearls was</p>	<p>Slight increase 9 vacancies / 98 occupancies. Walking audit completed by Catherine Ryan (vacancies = 271 Main, Cape Ann Kitchens, Animal Aid, Ciullas, Camerons, 191 Main, Empire, Valentinos, Popos and shack in Walgreens parking lot) Cameron's in play to Common Crow</p> <p>DOWNTOWN CULTURAL DISTRICT OFFICIALLY ESTABLISHED MARCH 29, 2013</p>	<p>Slight increase 8 vacancies / 98 occupancies. Walking audit completed by Catherine Ryan.</p>	<p>Tally for categories within district encompass entire footprint. HOWEVER, smaller focus determined for baseline for occupancy rate. Walking audit of properties along Main Street and Rogers deemed best (per MCC directions with Office of Mayor) and completed by Charles and George King.</p>

• • •

Year	YR2018 (covers 2017)
Population	hovers near 30,000
Employment	15,546 May 2018
Property Tax base	-WAITING-
Median household income	66,636
Rentals (Main Street & Rogers businesses)	<u>Sheet2 vacancy / occupancy</u>
Hotel occupancy	<p>Statewide MOTT reports (will compare with Gloucester): "By the Numbers MA lodging industry performance for May, 2018 vs. May, 2017</p> <ul style="list-style-type: none"> - The number of Rooms Sold in MA(1.9 M) grew 2.2% trailing the U.S. growth of 2.7%. PA grew by 4.8%, New York grew by 6.6% while New Jersey increased by 2.5%. - The change in HOTEL Occupancy Rate in MA of negative 1.8% underperformed the U.S. which grew by 0.7%. Occupancy in PA increased by 3.1%, New York up 3.9% and up 0.9% in New Jersey. - Average Daily Room Rate (ADR) declined by 1.8% in MA vs. an increase 2.6% for U.S. - ADR decline held back growth in Room Revenue in MA to 0.3%. By comparison, the U.S. Room Revenue grew by 5.4%. - Revenue Per Available Room (RevPar) dropped in MA by 3.6%. However, RevPar grew in the U.S.(+3.3%), PA(+2.9%), NY (+7.9%) and NJ (+3.5%). MA lodging industry performance CY 2018 through May vs. same period in 2017 - For the first 5 months of calendar year 2018, Rooms Sold in MA grew 6.0% to 8 M vs. U.S. growth of 2.9% to 502 M. By comparison New Jersey was up 4.0%, New York up 6.2% and PA up 8.2%.

• • •

	<p>- The decrease of 1.8% in Average Daily Room Rate (ADR) in MA continued to hold back growth in both Room Revenue (+4.1%) and RevPar (+1.0%).</p> <p>- The increase in Room Supply of 3.1% also contributed to the drag on RevPar growth.</p>
Local hotel/motel Exc Rev	-waiting-
Local hotel/motel meals tax	-waiting for results-
UBER tax	\$800 (FIRST YEAR) as reported by gloucester daily times
Sales tax	-WAITING-
axels on road stats (measured axels over black line sensors at key travel roads)	-waiting-
Measurable benchmarks- Partners tracking attendance	<p>SAMPLE DATA POINTS FOR TRACKING ATTENDANCE Office of the Mayor fall Harvest Festival Party at City Hall (Halloween) increased 3 fold in 3 years- OVER 1200 CHILDREN counted Oct 2017! Mayor stressed that this event increased its arts and cultural offerings with dance schools offering pop up "how to" dance instruction; music performances; story times; jewelery making; and more through the halls and all spaces of the building. The downtown Harvest Festival in partnership with Addison Gilbert has grown as well. Office of the Mayor reports Schooner Festival expanded last year and adding more this year notably a Revolutionary War re-enactment; Innovate Gloucester Gloucester Fresh which highlights our culture and industry has impacted economy directly; Gloucester Bio broke ground on Main Street at water's edge. Tourism Commission Chair Pauline Bresnahan invited Kathie Gilson to present 2017 Stage Fort Park Welcome Center stats: <i>"Still assessing summer 2017-- count and geographic representation looks on par with recent past summers. Visitor Center needed an IPAD for gathering visitor stats--asked for one (to who?). VC had a robust system in place past two summers under Carol Thistle (and before old school written with binder which volunteers are hoping is kept along with new computer kiosk) Kathie Gilson shared a copy of an older City printed map and hand out, given out from Good Harbor Beach parking lot booths when full directing where to go. Committee discussed updating printed matter as well as preseason training for beach</i></p>

• • •

	<p>booth staff. The Stage Fort Parking Lot was not full this summer (maybe nearly full twice). They were DOWN VOLUNTEERS The volunteer staff was understaffed summer season 2017. Approx 30 volunteers. Kathie volunteered extra shifts, worked every weekend. Kathie met with Veterans Services as interest and requests for info related to 100+ veterans memorials. New Posters about the flags and memorials on boulevard were created because of this interest, too (and generate more). Monuments digitized on state website (link). In the field and on the streets, there are QR codes on many thanks to boy scout project through Veterans Services. HarborWalk has also received many requests for map and asked for a trail link at the Joan of Arc marker when it's ready. Adam Curcuru has worked with youth and in communication with Pauline and Catherine Ryan. The VC closing date generally follows Columbus Day = last weekend."</p>
<p>Measurable benchmarks - Digital visitation</p>	<p>The district's website is LIVE though inactive; still visits happen as it serves as a welcome mat. Aggregate analytics on hold - 16,811 impressions. The district has 2 websites (old one re-directs to new) They are there as placeholders mostly until the branding is sorted out (name change and updates). The Gloucester downtown cultural district google maps (by catherine); state's cultural districts, Gloucester accommodations, and candy trail have received thousands of hits as well. The HarborWalk website is active and similarly under evaluation.</p>
<p>Partners status</p>	<p>same core (see 2014 detailed annual report and 2017 newsletter) plus welcomed 8 new partners: JANE DEERING GALLERY; TOURISM COMMISSION; DISCOVER GLOUCESTER DMO, GLOUCESTER DOWNTOWN MERCHANTS ASSOC, SailGHS; goodlinens studio; PAULINE'S GIFTS FROM THE HEART; and 7 SEAS WHALE WATCH.</p> <p>PARTNERS FEEDBACK continue to report similar feedback about name, logo, (change both) and footprint (make it accurate) and we hope to synthesize the data collected by community development for analysis. Also evaluation of accomplishments vs still pending from first survey. Coordinated Signage and traffic are continued concerns, and more direct funding opportunities for artists and affordable artists' studio spaces, and housing for artists all ages especially seniors and over 18 under 30.</p>
<p>Stakeholders</p>	<p>same core increased by QTY- 1 Sound Harbor considering partnership</p>
<p>Benchmark- Increased</p>	<p>Mayor Romeo Theken has increased access for arts throughout Gloucester</p>

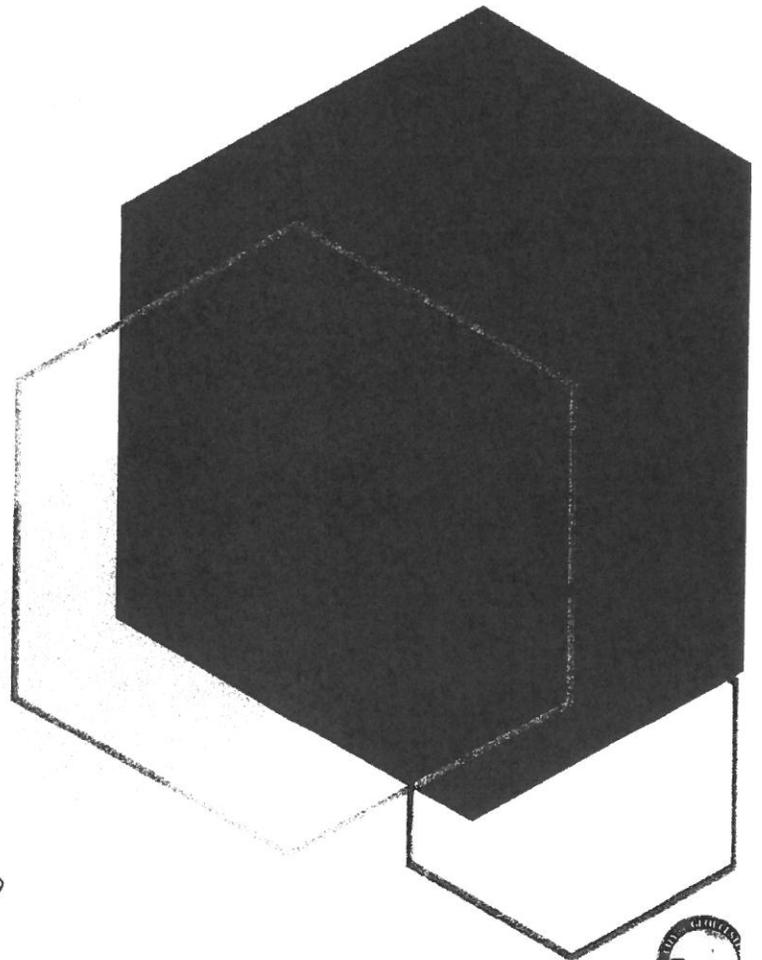
• • •

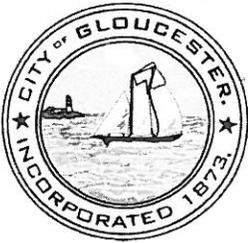
<p>activation downtown? Festivals and expanded programming?</p>	<p>neighborhoods. "Everyone's art means different styles". Downtown access to public spaces such as City Hall, Legion, Stacy Boulevard has surged-- examples this last year include a national first: Cape Ann Reads art fair celebrating local artists and writers original children's picture books at City Hall; Jason Grow's art exhibit Veterans was brought back and built out with 9/11 survivors; masterful public works project and re-opening of Stacy Boulevard with Tulip Festival and expanded garden designs; and more school groups and organizations marking events and milestones. The Middle Street Walk anniversary was greatly expanded; UU Church Meetinghouse model partnering; block parties now administered by Chamber for City and continue to be smashing success; HarborWalk summer cinema 5th year. Mayor Romeo Theken emphasizes all the FREE arts and cultural offerings in Gloucester -- in the summer months alone the City has partnered hosting something nightly. Stand Up Paddle Board brought new sports competition and celebration downtown. New signage at beaches under direction of Patti Amaral by designer and featuring Cape Ann group photographs as well as mural renovations by downtown fine artist Jason Burroughs. See partner highlights above!</p>
<p>New business with arts/culture tie in</p>	<p>Marmouk opened; Pastaio expanded; MAGMA dance and movement; Rogers Street Theater at 68 Rogers Street; 2 vintage stores- Adrift and (next to Jane Deering Gallery); Italiano refining into TRIO; Drift Cafe - new coffee shop at corner; Machaca now open</p>
<p>New art gallery</p>	<p>Hudson Gallery 120 Main Street</p>
<p>New art; new installation</p>	<p>PLEASE REVIEW 2017 NEWSLETTER WITH PARTNER HIGHLIGHTS (see "sheet 3" tab below for links). A few 2017 highlights include Gloucester as arts leader: Mayor brought contemporary public art commission to City Hall - Stephanie Benenson Harbor Voices installation at City Hall ("Come experience a sweeping ocean of sound, stories and light, drawn by the voices and acts of generosity of neighbors and friends") first in state for sound and light social sculpture at a municipal center and Mayor Theken was her first interview; also first of its kind art fair (Cape Ann Reads) and large mural renovations at beaches by fine artist Jason Burroughs. Sadly Danny Diamond partial removed from Brewery.</p>



Partners tracking attendance and digital visitation

- Visitation increased specifically (e.g. Fall Festival party at City Hall and Cape Ann Summer Cinema)
- As well as anecdotally – Block parties, Schooner Festival
- will explore with outreach, re-designation district renewal and via future Survey and make sure to evaluate: the indicators we selected to monitor increased activation downtown such as
 - Surges in programming –
 - Increased educational offerings -
 - More creative opportunities for artist to exhibit -
 - Creative focus on public spaces-
 - More daytime programming (lunch)- will assess
 - More winter programming- will assess *
 - *Likely by selecting two months if entire year reporting too onerous. One winter month such as FEBRUARY and after summer such as OCTOBER would be ideal.*





CITY OF GLOUCESTER
GLOUCESTER, MASSACHUSETTS 01930

CITY OF GLOUCESTER
Special Council Permit – Application

CITY CLERK
GLOUCESTER, MA
2018 SEP 20 PM 2:26

11/26/18
(Public hearing to be held no later than
above date)

In conformance with the requirements of the Zoning Ordinance of the City of Gloucester, the undersigned hereby applies for a Special Council Permit (CC or CCS) in accordance with Section 1.8.3 of the Ordinance and other Sections as listed below:

Type of Permit (Give specific section of Zoning Ordinance)
Grant Special Permit under Section 2.3.1.7 to alter/expand a non-conforming structure in order to convert the property from a 3 retail/3 residential unit building to a 2 retail/4 residential unit building by converting the basement retail/office unit into a single open floor plan apartment further, a Special Permit to exceed maximum building height, section 3.1.6(b) and to seek certain dimensional variances under section 3.2.2.a.

Applicant's Name: Mark L. Nestor, Esq.

Owner's

Name: Hecht 189 Main LLC

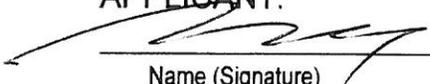
(if different from applicant)

Location: 189 Main Street Map # 8 Lot # 27
(Street Address)

Zoning Classification: CB

- Attached is a list of owners (with complete addresses) of land directly opposite on any public or private street or way, direct abutters, and abutters to the abutters of land within three hundred (300) feet of the property line, as they appear on the most recent City of Gloucester Assessor's Maps and Tax list.
- Attached is a listing of criteria set forth in Section 1.8.3 of the Zoning Ordinance, including any supportive material or comments the applicant may wish to include (i.e. ZBA decisions, Order of Conditions, etc.) if necessary.
- Attached are the necessary plans as set forth in Section 1.5.3, of the Zoning Ordinance, which at a minimum consist of an accurate plot plan (to scale) showing existing and/or proposed building or structures.

City of Gloucester - Action	
Fee:	<u>350.00</u>
City Clerk (received):	<u>9/20/18</u>
City Council (received):	<u>10/19/18</u>
Public Hearing (ordered):	_____
Public Hearing (opened):	_____
Public Hearing (closed):	_____
Final Decision:	_____
Disposition	_____
(Approved, Denied, Approved w/conditions)	

APPLICANT:

 Name (Signature)
45 Middle Street, Ste. 1, Gloucester, MA
 Address
978-283-7117
 Telephone

Certified for completeness:
 Building Inspector: [Signature] Date: 9/10/18
 Planning Director: [Signature] Date: 9/10/18

Section 1.8.3 (Use additional sheets, if necessary)

1. Social, Economic, or community need served by the proposal:

The one new apartment proposed will provide needed housing opportunity to the Downtown and will support one of the stated purposes of the Community Development Plan for the City of Gloucester 2001, Section III.B.2

2. Traffic flow and safety:

Converting one Office/Retail unit on the Lower Floor to one open floor plan bedroom apartment will not cause any interference with traffic flow and has no safety issues.

3. Adequacy of utilities and other public services:

The utilities and public services are adequate to service a single open floor plan apartment That would be converted from one Retail/Office unit.

4. Neighborhood character and social structure:

Converting the Lower floor into an open floor plan apartment enhances the neighborhood Character and social structure and are keeping with the goals set out in the Community Development Plan for the City of Gloucester, 2001, for the development of downtown.

5. Qualities of the natural environment:

There is no expansion of the exterior of the building and there will be no negative impact on the natural environment.

6. Potential fiscal impact:

Conversion of one Retail/Office unit to one open floor plan apartment will provide additional taxes

The applicant is advised that City staff is available to assist the applicant in preparing the Application, including the Inspector of Buildings and City Planner

Application for Special Permit

The undersigned applicant hereby applies for a special permit under M.G.L., Ch. 40A, § 9 as follows.

1. Applicant (includes equitable owner or purchaser on a purchase and sales agreement):

Name: Mark L. Nestor, Esq.

Address: 45 Middle Street, Ste. 1, P.O. Box 5357, Gloucester, MA 01930

Tel.# Days 978-283-7117 Evenings 978-283-7117

Check here if you are the purchaser on a purchase and sales agreement.

2. Owner, if other than applicant:

Name: Hecht 189 Main LLC

Address: 185 Main St, 2nd Fir, Gloucester, MA 01930

Tel.# Days 617-755-9400 Evenings _____

3. Property:

Street address: 189 Main Street, Gloucester, MA 01930

Assessor's Map: 8 Lot: 27

Registry of Deeds where deed, plan, or both records:

Essex South District Registry of Deeds

Deed recording: Book 32084 Page 346 Land Court Department C82651

Plan recording: Plan# 145 of 1981

Property is located in the Central Business zoning district.

4. Nature of relief requested:

Special permit pursuant to Article/Section 2.3.1.7 of the Zoning Ordinance/By-

Law which authorizes to alter/expand a non-conforming structure to permit to allow the conversion of a

lower level retail/office unit into a single open floor plan apartment and to seek a variance on the Open

Space Requirement pursuant to Section 3.2.2.a. and a Building Height Special Permit under section

3.1.6.(b)

Detailed explanation of request:

Applicant has obtained a Special Permit from ZBA . Applicant seeking to convert Lower Level from Retail/Office unit to open floor plan apartment. Required minimum open space is 5000 ft². available space is 300 ft². Seeking a Special Permit on maximum bldg. height, required is 30, actual is 41.3

5. Evidence to support grant of special permit:

Because of reasons set forth below, the special permit requested will be in harmony with the intent and purpose of the Zoning Ordinance/By-Law:

The granting of the Special Permit will allow the conversion of the Lower Level Office/Retail unit into an open floor plan apartment of a pre-existing non-conforming structure which will have a positive impact on the development of the Downtown District and will further the goals of the Community Development Plan for the City of Gloucester, 2001

Because of reasons set forth below, the special permit requested will meet the additional requirements of the Zoning Ordinance/By-Law as follows:

The conversion is in harmony with the pre-existing structure and with the goals of the Community Development Plan for the City of Gloucester, 2001, Sec. III.B.2

See continuation sheets attached

If someone other than owner or equitable owner (purchaser on a purchase and sales agreement) is the Applicant or will represent the Applicant, owner or equitable owner, must designate such representative below.

Name of Representative: Mark L. Nestor, Esq.

Address of Representative: 45 Middle Street, Ste 1, Gloucester, MA 01930

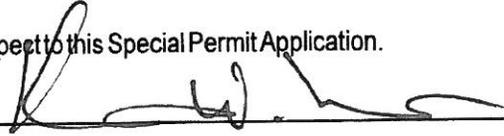
Tel. # Days 978-283-71417 Evenings 978-283-7117

Relationship of representative to owner or equitable owner:

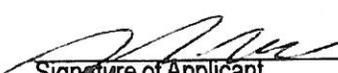
Attorney

I hereby authorize Mark L. Nestor, Esq. to represent my interests before
the Special Permit Granting Authority with respect to this Special Permit Application.

(Signed by owner/equitable owner)

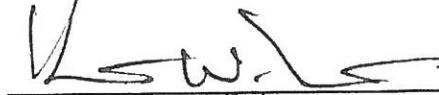


I hereby certify under the pains and penalties of perjury that the information contained in this
Application is true and complete.



Signature of Applicant

8/24/18
Date



Signature of Owner, if other than Applicant

8/29/18
Date

Signature of Equitable Owner who is filing application to satisfy condition of Purchase and Sales agreement

Date

CITY OF GLOUCESTER - CITY COUNCIL

APPLICATION FOR SPECIAL COUNCIL PERMIT

PROPERTY ADDRESS: 189 MAIN STREET, GLOUCESTER, MA

CONTINUATION SHEET:

(REASONS IN SUPPORT OF REQUESTED RELIEF):

PARAGRAPH G (REASONS IN SUPPORT OF REQUESTED RELIEF):

1. **USE:** The applicant seeks a Special Permit to convert the building from a retail/multi-family three retail and three residential units to a mixed use retail/multi-family with two (2) retail units on the 1st floor, keeping the three apartments on the 2nd and 3rd floors and converting the retail/office entity in the lower level to an open floor plan apartment bringing the total number of apartments to four (4). There is no plan to expand the exterior of the building and so it is submitted that this conversion is permissible pursuant to Sec. 2.3.1.7 of the Gloucester Zoning Ordinance.

2. **OFF-STREET PARKING:** The three current residential units in the building are located in the structure will be above the ground floor in a structure that was built in 1880 and contains two permitted non-residential units on the ground floor located with the CB District and hence it is submitted that the Applicant does not have to provide off-street parking pursuant to Sec. 4.1.1(d) of the Ordinance. If it is determined that a Special Permit is required it is requested in this Application.

3. **ZONING BOARD OF APPEALS:** The Zoning Board of Appeals, after a hearing and with no opposition, on July 12, 2018, granted the Applicant a Special Permit and Variances for certain dimensional requirements, namely, Lot Area, Lot Width, Lot Frontage, Front Yard, Left Side Yard, Right Side Yard, and Maximum Building Height.

4. **WAIVER OF HEIGHT REQUIREMENT/SPECIAL PERMIT TO EXCEED BUILDING HEIGHT- CITY COUNCIL:** The Applicant is not seeking to increase the existing height of the Building. The height dimensions have remained the same since the building was

constructed in 1880, as such, it should be grandfathered from both the Zoning Ordinance as well as the Building Code.

5. WAIVER OF DIMENSIONAL REQUIREMENT/ REQUEST FOR VARIANCES OF DIMENSIONAL REQUIREMENTS - CITY COUNCIL:

There are multi-family dimensional requirements in the Central Business District. There is some question as to whether an applicant is required to comply with the multi-family dimensional requirements if an existing building has already been converted from a retail/office(commercial) use to a retail/multi-family use in an existing building. It is the Applicant's position that since the Applicant is not seeking to expand the exterior of the building and that all renovations will occur in the interior of the building then it should not have to seek variances for same. Further, since the Applicant is not seeking to expand the exterior or the footprint of the Building and to the best of the Applicant's knowledge there has not been any changes to the exterior of the building since its construction in 1880, then the dimensional requirements should be waived since the construction of the building should be grandfathered as it occurred well before the implementation of the Zoning Ordinances or the Building Codes in the City of Gloucester.

As such, the petitioner is seeking a variance/special permit for minimum lot area per dwelling unit, minimum open space per dwelling unit, and Special Permit/Variance to exceed building height. Since only the City Council has the authority to grant a Special Permit decreasing those areas pursuant to §3.2.2.a, and 3.1.6(b). The requested relief is as follows:

<u>Category</u>	<u>Required</u>	<u>Existing</u>	<u>Relief Req</u>
Minimum Lot Area per			
Dwelling unit	10000	4028	5972
Minimum Open Space per			
Dwelling unit	5000	300	4730
Spec Permit	30	41.3	11.3
Max Building Height			

The City of Gloucester in 2001 published the Community Development Plan for the City of Gloucester, 2001. Contained within said Plan was an entire section devoted to Downtown (Section III.B), a copy of which is attached. The Goal set out in the Plan (Sec. III.B.2) was to:

"Make Downtown Gloucester the center of the commercial and civic life of the city with a **variety and vitality of uses** (my emphasis) and attractiveness of historic buildings (**189 Main Street was built in 1880**), pleasant streetscapes and connections to the harbor."

One of the objectives of the 2001 Plan was:

"Expand opportunities for both market and affordable housing in the downtown." (Sec. III.B.3)

Finally, one of the Strategies set out in the 2001 Plan (Sec. III.B.4) was to "**Encourage mixed use of commercial and residential properties.**" (Strategy 4).

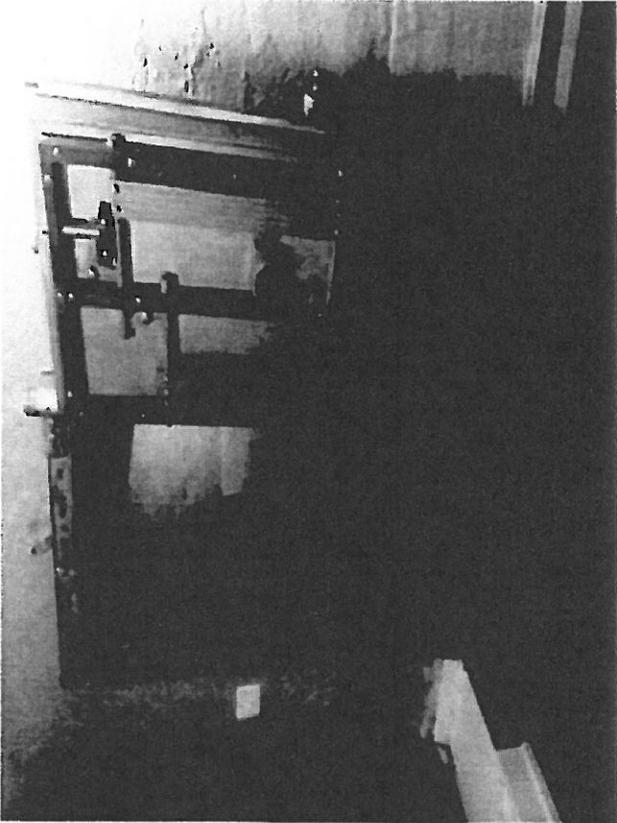
The Applicant suggests that what it is proposing for 189 Main Street complies and conforms to the visions set out in the 2001 Plan. Further, the Applicant submits that the intention of the 2001 Plan was to allow by right the conversion of an office/retail building into a multi-family building, even an increase from three residential units to four residential units. However, it appears that the dimensional and use requirements set out in the Zoning Ordinance have not yet been adjusted to totally reflect the goals and strategies outlined in the 2001 Plan. Additionally, as demonstrated in the attached photographs, the access to the basement unit as well as the interior darkness (it still has the old bank vault located in the basement) makes it extremely difficult to attract retain/office tenants.

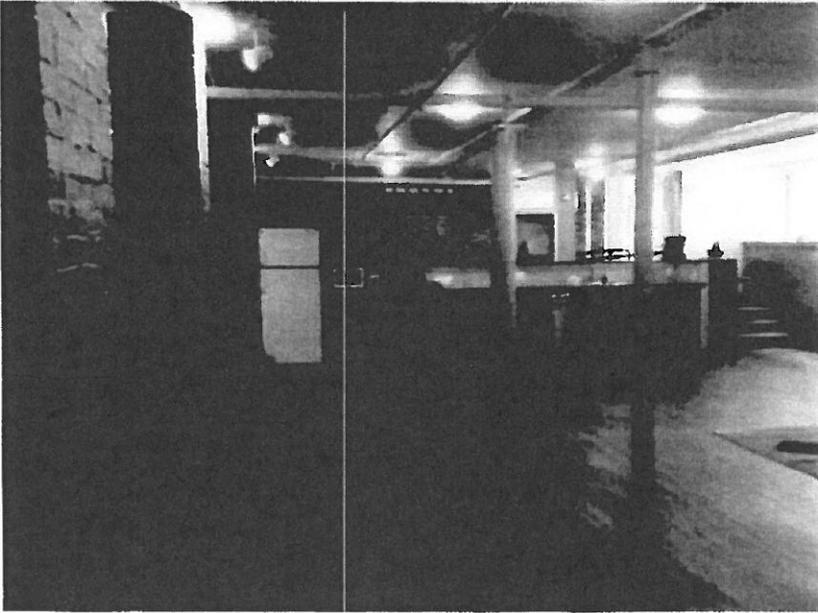
It is also submitted that granting a Special Permit in this case would conform with the six factors set out in Sec. 1.8.3 of the Zoning Ordinance. Further, that the requested variances conform with the requirements of Sec. 1.7.2 of the Zoning Ordinance.

Based upon the above, the Applicant would request that the ZBA:

1. Grant a Special Permit: to alter/expand a non-conforming structure or use to allow the addition of a 4th residential efficiency unit in the basement; allow for a lesser number of off-street parking spaces; and, exceed the maximum building height.
2. Grant the applicant relief from the various dimensional requirements and allow the Applicant to convert and renovate 189 Main Street.

It is understood that the Applicant will also be seeking a Special Permit from the City Council and a Variance on the Open Space requirements.





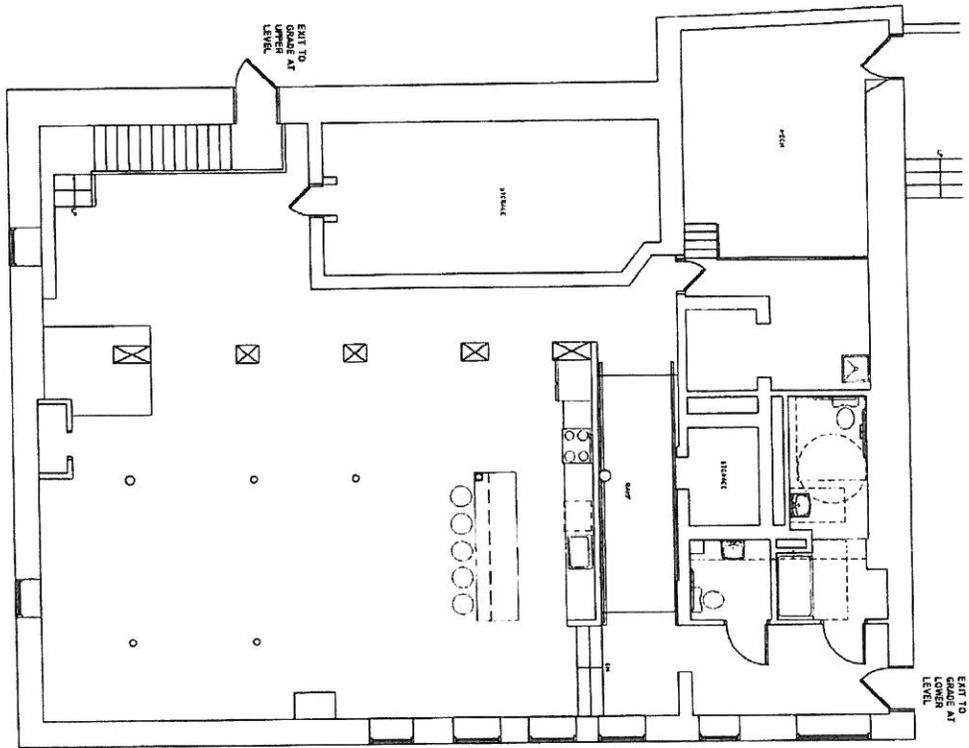




wisdom's heart ↴

TRIDENT GALLERY
BLUE RIVER DIAMONDS
wisdom's heart

1 PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



A1

23 MAR 2004
10:11 AM

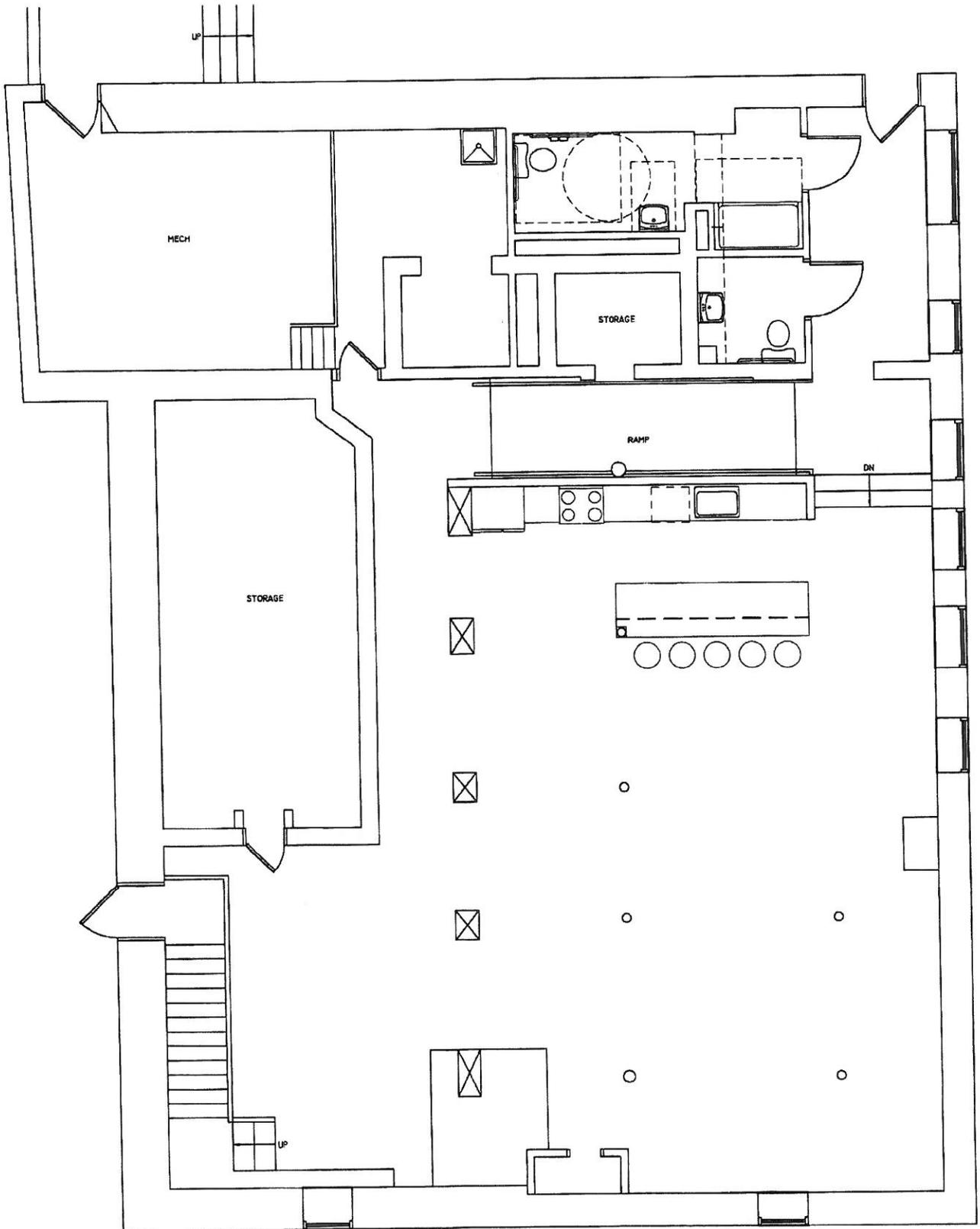


PROPOSED STUDIO APARTMENT
LOWER LEVEL
RESIDENTIAL UNIT
180 MAIN STREET 1, GLOUCESTER, MA

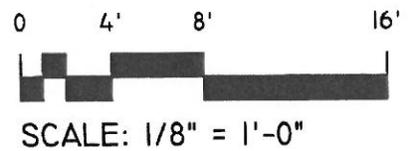


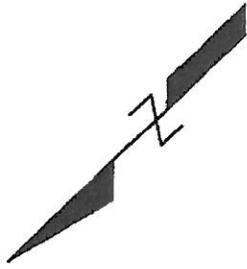
DEER HILL ARCHITECTS, LLC

40 LOWELL STREET, SUITE 23, PEABODY, MA
TELEPHONE: (978) 532-8828 FAX: (978) 532-5130



1 PROPOSED BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"





CITY OF GLOUCESTER

56'± occupation
54.00' deed

CITY OF GLOUCESTER

76'± occupation
74.60' deed

3 STORY
COMMERCIAL
BUILDING
#189

76'± occupation
74.60' deed

DUNCAN STREET

54.00'

MAIN STREET

REFERENCE:

DEED: REC. BK. 30011 PG. 457
PLAN: 145/1981
TO: DAVID B. GARDNER

THIS PLOT PLAN WAS NOT MADE FROM AN INSTRUMENT SURVEY AND IS FOR THE PURPOSES OF THE BANK ONLY. UNDER NO CIRCUMSTANCES ARE OFFSETS TO BE USED FOR ESTABLISHMENT OF FENCES, WALLS, HEDGES, ETC.

I CERTIFY THAT THE BUILDING SHOWN HEREON IS LOCATED ON THE GROUND AS SHOWN AND IT CONFORMS TO THE HORIZONTAL DIMENSIONAL REGULATIONS OF THE ZONING BYLAWS OF THE CITY OF GLOUCESTER AT THE TIME OF CONSTRUCTION OR ARE PROTECTED UNDER GENERAL LAWS CHAPTER 40A SECTION 7. I ALSO CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS DELINEATED ON THE MAP OF COMMUNITY #2500B2 GLOUCESTER, MA., EFFECTIVE 7/3/2012 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

MORTGAGE INSPECTION PLAN
LOCATED AT
189 MAIN STREET
GLOUCESTER
PREPARED FOR
KENNETH HECHT



SCALE 1" = 20' DECEMBER 10, 2012
NORTH SHORE SURVEY CORP.
14 BROWN STREET
SALEM, MA. 01970
978-744-4800

12/10/12 *Gail Smith*
DATE REG. PROFESSIONAL LAND SURVEYOR

3844 W

145
1981

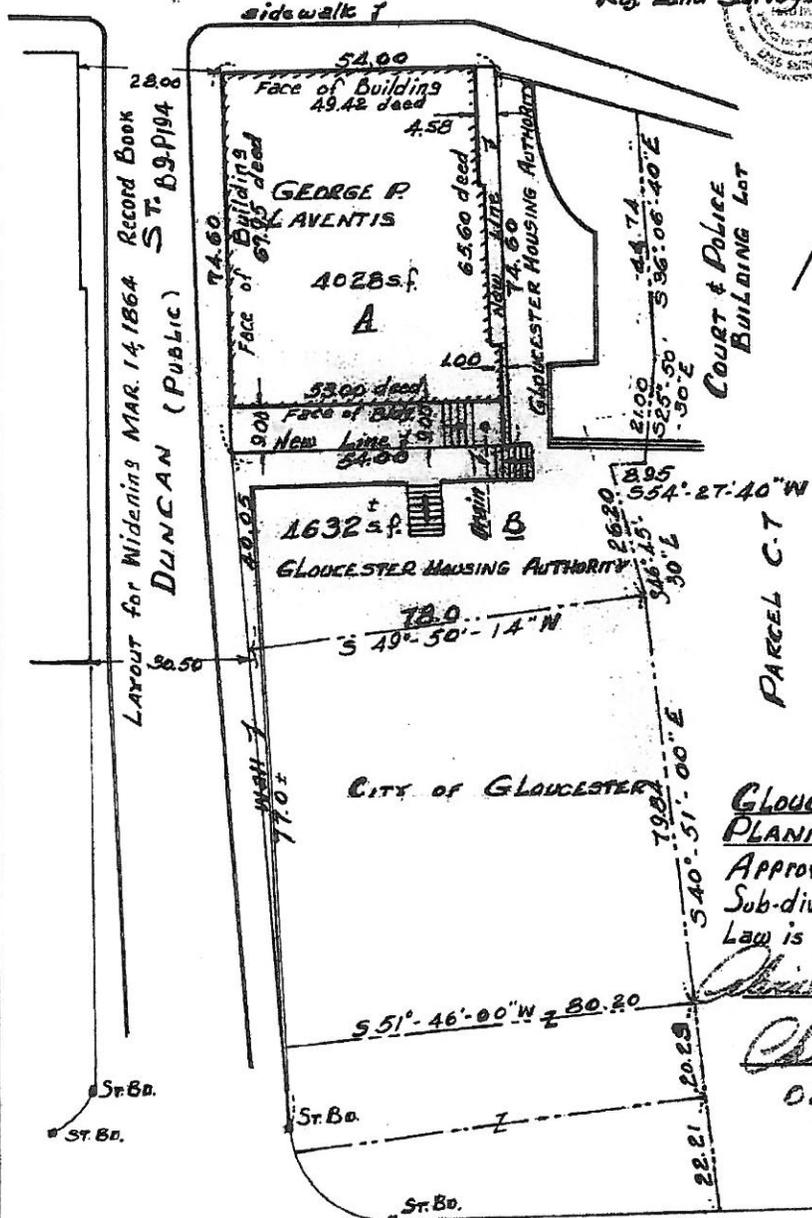
I certify that this plan conforms to
the Rules & Regulations of the
Registry of Deeds.

June 28, 1980 Matt A. Houtala
Reg. Land Surveyor



MAIN (Public) ST.

LAYOUT for Widening MAR. 14, 1864 RECORD BOOK
ST. B. 9194
DUNCAN (PUBLIC)



Court & Police
BUILDING Lot

PARCEL C-7

GLoucester
PLANNING BOARD
Approval under the
Sub-division Control
Law is not required

Chris Chisholm
Chairman
08/17/81

For Registry Use Only

ROGERS ST.

PLAN OF LAND IN GLOUCESTER
COR. MAIN ST. & DUNCAN ST.
Adjustment of Boundary Line
Between

GEORGE P. LAVENTIS & GLOUCESTER HOUSING AUTHORITY

SCALE 1" = 20' ~ June 28, 1980
0 10 20 40 60

Matt A. Houtala
Registered Land Surveyor

REGISTRY OF DEEDS, 201 DIST. COURT, MASS.
RECORDED Sept. 3, 1981 with Deed:
Gloucester Housing Authority
George P. Laventis
P. 868 ST. P. 782 Filed in 145 1981

AMAST: *John P. O'Brien, Jr.*
Registry of Deeds

9/5/18



CITY OF GLOUCESTER
ZONING BOARD OF APPEALS
3 POND ROAD GLOUCESTER MA 01930

SO. ESSEX #95 Bk:36943 Pg:510
08/17/2018 09:19 PERMIT Pg 1/5

DATE July 12, 2018

PETITIONER: Hecht 189 Main LLC

LOCUS (hereafter, the "Site"): 189 Main Street, Gloucester, MA 01930

RELIEF REQUESTED: Seeking a Special Permit to expand/alter a non-conforming structure and to exceed the maximum allowable height and Variances for front yard, side yard, lot area, lot frontage, and lot coverage to enable Petitioners to apply to City Council to add dwelling unit on the lower level at 189 Main Street

(Assessor's Map 8, Lot 27)

PURPOSE OF PETITION: The Petitioner seeks to convert the Building from a retail/multi-family three retail and three residential units to a mixed use retail multi-family with two retail units on the 1st floor, three apartments on the 2nd and 3rd floor and to convert the lower level of the building from an office/retail to an open floor apartment pursuant to Section 2.3.1.17

ZONING DISTRICT: CB (Central Business)

HEARING DATE, TIME AND PLACE: Thursday, July 12, 2018, 7:00 p.m., City Hall Kyrouz Auditorium, Gloucester, MA. .

BOARD MEMBERS PRESENT:

DAVID B. GARDNER (who recused himself)
MICHAEL C. NIMON
KRIS HOWARD
JOSEPH PARISI
SAGE WALCOTT

ORIGINAL REFERENCE DOCUMENTED
32084 346

2018 JUL 27 AM 9:45
CITY CLERK
GLOUCESTER, MA

ALTERNATES: ADRIA REIMER-NICHOLOSI

PETITIONER REPRESENTED BY: Mark L. Nestor, Esq.

APPEARING IN FAVOR OF THE PETITION: None

APPEARING IN OPPOSITION TO THE PETITION: None

PLANS, ELEVATIONS, ETC., SUBMITTED IN SUPPORT OF THE PETITION (Hereinafter, the "Project Plans"): 1. Proposed Open Apartment Floor Plan. 2. Plot Plan of Property dated December 10, 2012. 3. Plan of Land in Gloucester corner of Main and Duncan Street, dtd June

28, 1980. 4. Copy of current deed. 5. Four (4) Photographs of Property. 6. Abutters List. 7. Selected portions of the Community Development Plan for the City of Gloucester, 2001, published by the City of Gloucester on August 13, 2001.

SITE VISIT PHOTOGRAPHS: None

PHOTOGRAPHS BY OTHERS: None

OTHER LETTERS, REPORTS, DOCUMENTS, ETC., SUBMITTED IN SUPPORT OF THE PROJECT: None

OTHER LETTERS, REPORTS, DOCUMENTS, ETC., SUBMITTED IN OPPOSITION OF THE PROJECT: None

Speaking for the petition was Mark L. Nestor, Esq., 45 Middle Street, Suite 1, Gloucester, MA, who addressed the following aspects of the proposal: (1) The applicant seeks to convert the 100+ year old building from a retail/multi-family three retail and three residential units into a mixed use retail/multi-family with two retail units on the 1st floor, keeping the three residential units on the 2nd and 3rd floors and converting the retail/office entity in the lower level to an open floor plan apartment bringing the total number of apartment to four which will require a City Council Special Permit. There is no plan to expand the exterior of the building and so it is submitted that this conversion is permissible pursuant to Sec. 2.3.1.7 of the Gloucester Zoning Ordinance; and, (2) There are multi-family dimensional requirements in the Central Business District. Attorney Nestor stated that since there are already residential units in the building in a structure which has existed as of February 1, 1990, and contains a permitted non-residential use on the ground floor located with the CB District that the Applicant does not have to provide off-street parking pursuant to Sec. 4.1.1(d) of the Ordinance. The Applicant's position is that the variances should be granted for all dimensional requirements of section 3.2.2. The basis for same is that the City of Gloucester in 2001 published the Community Development Plan for the City of Gloucester, 2001. Contained within said Plan was an entire section devoted to Downtown (Section III.B). The Goal set out in the Plan (Sec. III.B.2) was to:

"Make Downtown Gloucester the center of the commercial and civic life of the city with a variety and vitality of uses and attractiveness of historic buildings (65 Main Street was built in 1900), pleasant streetscapes and connections to the harbor."

One of the objectives of the 2001 Plan was:

"Expand opportunities for both market and affordable housing in the downtown. "(Sec. III.B.3)

Finally, one of the Strategies set out in the 2001 Plan (Sec.III.B.4) was to "Encourage mixed use of commercial and residential properties." (Strategy 4).

The Applicant suggests that what it is proposing for 89 Main Street complies and conforms to the visions set out in the 2001 Plan.

FACTUAL FINDINGS BY THE BOARD:

- 1. The proposed use is in harmony with the general purpose and intent of the zoning ordinance;**
- 2. The proposed use will not have adverse effects which over balance the beneficial effects to the neighborhood and city;**
- 3. The proposed use complies with the general or specific provisions of the zoning ordinance**
- 4. The social, economic, or community needs are served by the proposal;**
- 5. There is adequate traffic flow and safety;**
- 6. There is adequate utilities and other public services;**

7. There will be no impact upon the qualities of the natural environment;
8. There is a positive fiscal impact;
9. Strict enforcement of the Zoning Ordinance would cause a substantial hardship financial or otherwise;
10. The variances may be granted without substantial harm to the public good; and,
11. The proposed use supports the housing goals for the City of Gloucester as set forth in the Community Development Plan for the City of Gloucester, 2001

STANDARD TO BE APPLIED BY THE BOARD: The Board has carefully considered the petitioner's request and finds that the proposed use is in harmony with the general purpose and intent of the zoning ordinance. The Board also finds the proposed use will not have adverse effects which over balance the beneficial effects to the neighborhood and city. The Board also finds that the proposed use complies with the general or specific provisions of the zoning ordinance. The Board also finds that the proposed use supports the housing goals for the City of Gloucester as set forth in the Community Development Plan for the City of Gloucester, 2001. In making determinations relative to the proposal the Board considered the social, economic and community needs served by the proposal, the traffic flow and safety in the area, the adequacy of the utilities and other public services, the neighborhood character and social structure, the qualities of the natural environment and potential financial impact.

DECISION OF THE BOARD:

BASED ON THESE FINDINGS, AND SUBJECT TO THE GENERAL AND SPECIAL CONDITIONS SET FORTH BELOW, THE BOARD GRANTS PETITIONER A SPECIAL PERMIT TO EXPAND A NON-CONFORMING USE, TO EXCEED THE MAXIMIM ALLOWABLE HEIGHT AND FOR A LESSER NUMBER OF OFF-STREET PARKING SPACES AS SHOWN ON THE PROJECT PLANS. THE BOARD ALSO GRANTS THE FOLLOWING VARIANCES:

<u>Category</u>	<u>Required</u>	<u>Existing</u>	<u>Granted</u>
Lot Area	10,000	4028	5972
Lot Width	80	54	26.00
Lot Frontage	65	54	11.00
Front Yard	15	4.58	2.92
Left Side Yard	7.5	0	7.5
Right Side Yard	7.5	0	7.5
Special Permit			
Max Building Height	30	41.3	11.3

GENERAL CONDITIONS:

1. All work authorized by this decision shall be in accordance with the above-referenced Project Plans, which have been stamped and endorsed by the board Chairman and which are the sole plans of record in this matter. Any unauthorized deviation from the Project plans or these general and special conditions may result, following a public hearing, in revocation of the special permit.

2. Any proposed modification or change in the Project Plans shall require a modification of the special permit that has been granted hereby, following a duly noticed public hearing.
3. This decision shall not take effect until notice thereof is filed in the Essex County Registry of Deeds. The fee for filing such notice shall be paid by petitioner. Prior to filing this decision with the Registry of Deeds, petitioner shall have the Seal of the City affixed to same.

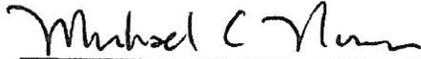
SPECIAL CONDITIONS: None

VOTE OF THE BOARD:

In favor:



JOSEPH PARISI, III



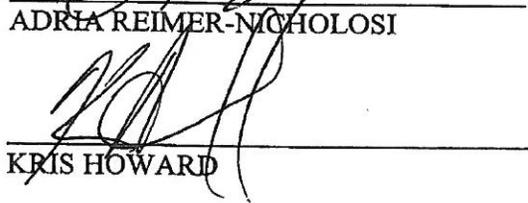
MICHAEL C. NIMON



SAGE WALCOTT



ADRIA REIMER-NICHOLOSI



KRIS HOWARD

The afore granted decision shall not take effect until such notice is filed with the Essex South District Registry of Deeds. The fee for such notice shall be paid by the owner. Prior to registering this decision with the Registry of Deeds, the petitioner shall have the Seal of the City affixed to same.



City of Gloucester
Office of the City Clerk
9 Dale Avenue
Gloucester, Massachusetts 01930

Office (978) 281-9720 Fax (978) 282-3051

Attachment to Board of Appeals

Hech 189 Main LLC
Mark L. Nestor, Esq
187 Main Street
Gloucester, Massachusetts 01930

Map 8, Lot 27 Locus (if different from above): 189 Main Street

Addendum to the above:

I, Joanne M. Senos, City Clerk for the City of Gloucester, hereby certify that this decision is a true and accurate copy of the original decision, which decision is filed in the City Clerk's Office, and that 20 days has elapsed since the filing of such decision, and I further certify that no notice of appeal concerning this decision has been filed in said office. It is the obligation of the above named applicant to determine if an appeal has been filed with the courts.

Joanne M. Senos, City Clerk

Date: August 17, 2018

Seal:

PCS

2013010300377 Bk:32084 Pg:346
01/03/2013 02:14 DEED Pg 1/2

QUITCLAIM DEED

189 Main Street LLC, a duly registered Massachusetts limited liability company with a normal business address of 85-87 Boston Street, Everett, Massachusetts,

For consideration paid in the amount of Eight Hundred Fifty Thousand and 00/100 (\$850,000.00)

Grants to Hecht 189 Main LLC, a duly registered Massachusetts limited liability company with a normal business address of 122 Main Street, 2nd Floor, Gloucester, Massachusetts, 01930

With QUITCLAIM CONVENANTS

three parcels of land with the buildings thereon situate at the corner of Main and Duncan Streets in said Gloucester, bounded as follows:

RECORDED IN SOUTHERN ESSEX DISTRICT
Date: 01/03/2013 02:14 PM
ID: 938931 Doc# 20130103003770
Fee: \$3,876.00 Cons: \$850,000.00

Parcel #1

- NORTHERLY by said Main Street forty-nine and forty-two hundredths (49.42) feet;
- EASTERLY by land now or formerly of Melvin I. Bernstein, sixty-five and sixty Hundredths (65.60) feet;
- SOUTHERLY by land now or formerly of the Gloucester Fishermen's Institute, now the Gloucester Housing Authority, fifty-three (53) feet;
- WESTERLY by Duncan Street, sixty-seven and ninety-five hundredths (67.95) feet;

The above described premises are hereby conveyed subject to and with the benefit of all rights, easements, conditions, and restrictions of record so far as the same are now in force and applicable.

Parcel #2

- NORTHERLY by Main Street approximately 3.75 feet;
- WESTERLY by land nor or formerly of George P. Laventis as shown on a plan entitled "Plan of Land in Gloucester, Corner Main Street and Duncan Street, Adjustment of Boundary Line between George P. Laventis et ux and Gloucester Housing Authority, " ;
- EASTERLY by the "New Line" on the plan hereinafter mentioned 74.60 feet;
- SOUTHERLY by land now or formerly of the Gloucester Housing Authority, approximately one foot.

189 Main Street, Gloucester, MA 01930

2

BOX #146

Said strip of land being shown as Lot A on a plan entitled "Plan of Land in Gloucester, Corner Main Street and Duncan Street, Adjustment of Boundary Line between George P. Laventis et ux and Gloucester Housing Authority," dated June 28, 1980 by Matt A. Hautala, Registered Land Surveyor, recorded in the Essex South District Registry of Deeds at Plan No. 145/1981 in said Registry Book 6858, Page 782.

Parcel #3

NORTHERLY by the bank wall of a building now or formerly of George R. Laventis et ux, represented by the line "face of bldg." on the before mentioned plan, 54 feet;

EASTERLY by land now or formerly of George P. Laventis et ux 9 feet;

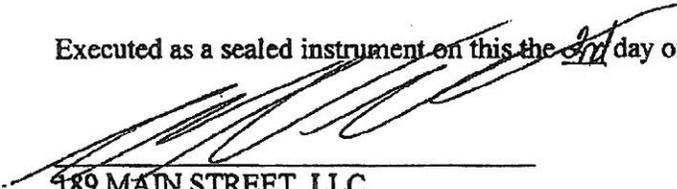
WESTERLY by Duncan Street, 9 feet;

SOUTHERLY by land now or formerly of the Gloucester Housing Authority, 54 feet.

Said strip of land being the premises shown as Lot A on the before mentioned plan.

The above Parcels #1, #2 and #3 being the same premises conveyed 189 Main Street LLC by Deed of George P. Laventis and Joanne R. Laventis dated November 16, 2010 and recorded in the Essex South District Registry of Deeds, Book 30011, Page 457.

Executed as a sealed instrument on this the 2nd day of January, 2013.

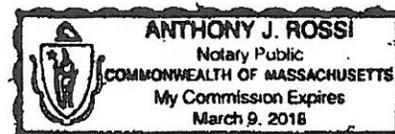

189 MAIN STREET, LLC
BY: WILLIAM J. THIBEAULT MANAGER

COMMONWEALTH OF MASSACHUSETTS

Suffolk, ss

On this 2nd day of January, 2013 before me, the undersigned notary public, personally appeared WILLIAM J. THIBEAULT, Manager as aforesaid, who proved to me through satisfactory evidence of identification, which was MA Drivers License, to be the person whose name is signed on the foregoing instrument, and acknowledged that he signed it voluntarily for its stated purpose, as free act and deed of 189 Main Street LLC


Notary Public
My Commission Expires:





City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 8-27

Please be aware that the abutters list reflects mailing addresses for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 8 Lot 27 as further shown on the attached map dated 5/30/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
8-70-3E SIMOES MANUEL F	6 ELM ST 3	8-70	SIMOES MANUEL F 6 ELM ST UNIT 3 GLOUCESTER, MA 01930
8-70-1E HALE GLENN P & BETSY D TRS	6 ELM ST 1	8-70	HALE GLENN P & BETSY D TRS 52 PHILLIPS AV ROCKPORT, MA 01966-1143
8-70-2E GOLDENBAUM DONALD M & SALLY A	6 ELM ST 2	8-70	GOLDENBAUM DONALD M & SALLY A 5300 W 67TH ST PRAIRIE VILLAGE, KS 66208
8-70-C JIMARY LAND TRUST LLC	6 ELM ST	8-70	JIMARY LAND TRUST LLC PO BOX 206 GLOUCESTER, MA 01930
8-70-6E STEEL JUNE L	6 ELM ST 6	8-70	STEEL JUNE L 6 ELM ST #6 GLOUCESTER, MA 01930
8-70-5E JIMARY LAND TRUST LLC	6 ELM ST 5	8-70	JIMARY LAND TRUST LLC PO BOX 206 GLOUCESTER, MA 01930
8-70-4E TANG JANET TSUI & STIMENS WAYNE	6 ELM ST 4	8-70	TANG JANET TSUI & STIMENS WAYNE 6 ELM ST UNIT 4 GLOUCESTER, MA 01930
8-68 GCB CORP C/O BANK GLOUCESTER	170 MAIN ST	8-68	GCB CORP C/O BANK GLOUCESTER 85 MIDDLE ST GLOUCESTER, MA 01930
8-69 ACTION INC	180 MAIN ST	8-69	ACTION INC 180 MAIN ST GLOUCESTER, MA 01930
8-69 ACTION INC	180 MAIN ST	8-69	ACTION INC 180 MAIN ST GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 8-27

Please be aware that the abutters list reflects mailing addresses for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 8 Lot 27 as further shown on the attached map dated 5/30/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
8-31 COUGHLIN J T & COUGHLIN P M TR C/O P M C REALTY TRUST	185 MAIN ST	8-31	COUGHLIN J T & COUGHLIN P M TR C/O P M C REALTY TRUST 239 WESTERN AV ESSEX, MA 01929 0000
8-70 JIMMARY LAND TRUST LLC	186 MAIN ST	8-70	JIMMARY LAND TRUST LLC 186 MAIN ST GLOUCESTER, MA 01930
8-27 HECHT 189 MAIN LLC	189 MAIN ST	8-27	HECHT 189 MAIN LLC 122 MAIN ST 2ND FLOOR GLOUCESTER, MA 01930
8-26 GLOUCESTER CITY OF	195 MAIN ST	8-26	GLOUCESTER CITY OF CITY HALL GLOUCESTER, MA 01930 0000
8-70-995 THE RESIDENCES AT SEAPORT CONDOMINIUM	196 MAIN ST 995	8-70	THE RESIDENCES AT SEAPORT CONDOMINIUM 196 MAIN ST GLOUCESTER, MA 01930
8-70-3 MCCARTHY ELIZABETH K TR BRIAN DENNIS MCCARTHY FAMILY TRUST	196 MAIN ST 3	8-70	MCCARTHY ELIZABETH K TR BRIAN DENNIS MCCARTHY FAMILY TRUST 6 SAMUEL RIGGS CR GLOUCESTER, MA 01930
8-70-2 BIRCHENOUGH MICHAEL J & STEPHANIE	196 MAIN ST 2	8-70	BIRCHENOUGH MICHAEL J & STEPHANIE 196 MAIN ST UNIT 2 GLOUCESTER, MA 01930
8-70-4 CRAIN JAMES F C/O BAKER ROBERT R & LINDA B	196 MAIN ST 4	8-70	CRAIN JAMES F C/O BAKER ROBERT R & LINDA B 196 MAIN ST UNIT 4 GLOUCESTER, MA 01930
8-70-5 STEINER NANCY S TR NANCY S STEINER TRUST	196 MAIN ST 5	8-70	STEINER NANCY S TR NANCY S STEINER TRUST 196 MAIN ST UNIT 5 GLOUCESTER, MA 01930
8-70-A LYNNFIELD WOODS OFFICE ET AL C/O CHARLES JANICE M	196 MAIN ST	8-70	LYNNFIELD WOODS OFFICE ET AL C/O CHARLES JANICE M 168 CENTRE ST DANVERS, MA 01923



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 8-27

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 8 Lot 27 as further shown on the attached map dated 5/30/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
8-70-B LYNNFIELD WOODS OFFICE ET AL C/O CHARLES JANICE M	196 MAIN ST	8-70	LYNNFIELD WOODS OFFICE ET AL C/O CHARLES JANICE M 168 CENTRE ST DANVERS, MA 01923
8-70-1 SWEENEY PATRICIA E	196 MAIN ST 1	8-70	SWEENEY PATRICIA E 196 MAIN ST UNIT 1 GLOUCESTER, MA 01930
8-25 1907 LLC	201 MAIN ST	8-25	1907 LLC PO BOX 1637 GLOUCESTER, MA 01931-1637

The Gloucester Board of Assessors certifies that the Abutters Report program written to create a list of the names and addresses of property owners from the applicable tax list has been reviewed. To the best of our knowledge and belief the Abutters Report program generates an accurate list from the most recent tax list of the assessed owner of record and the mailing information of the parties in interest as defined within and required by the law and therefore the within document constitutes a certified abutters list.

Nancy A. Papows, MAA
Gary I. Johnstone, MAA
Bethann Brousseau, MAA
GLOUCESTER BOARD OF ASSESSORS

City of Gloucester Assessors' Office, City Hall, 9 Dale Avenue, Gloucester, MA 01930

5/30/2018

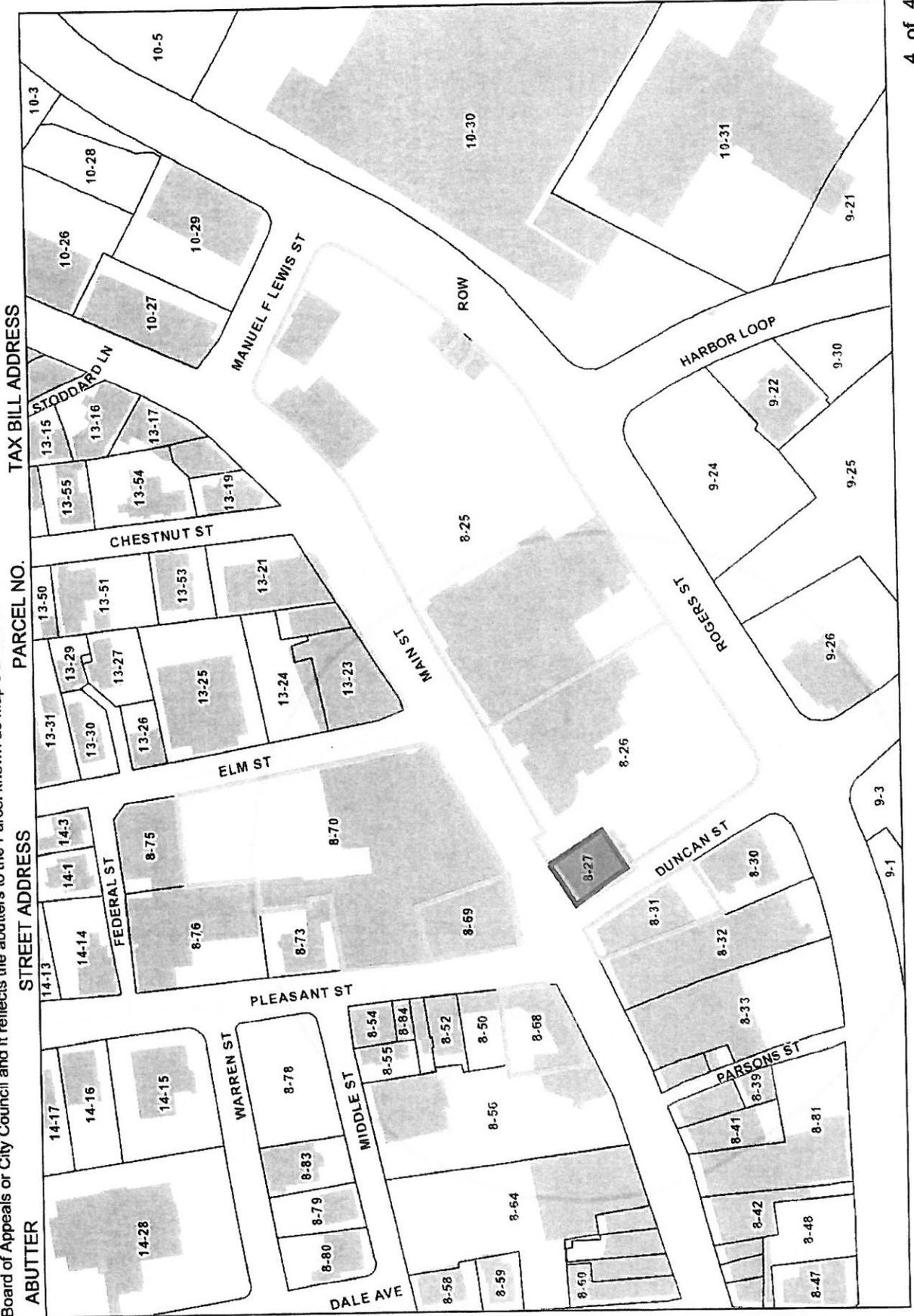


City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 8-27

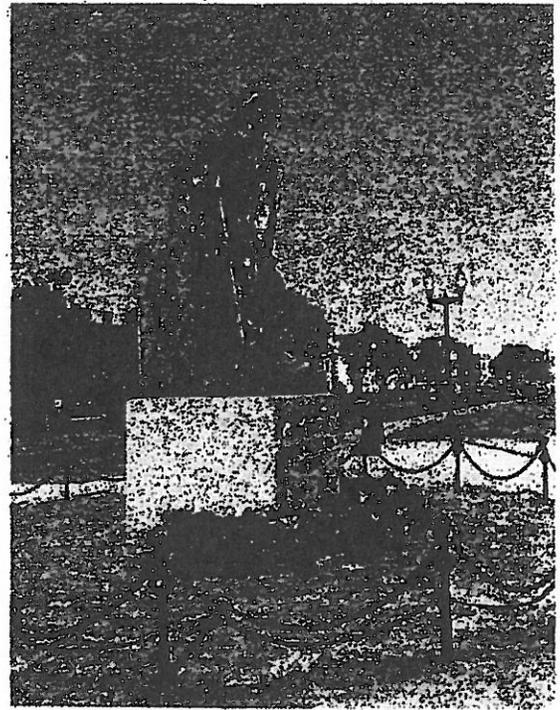
Please be aware that the abutters list reflects mailing addresses for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 8 Lot 27 as further shown on the attached map dated 5/30/2018.



CITY OF GLOUCESTER

THE COMMUNITY DEVELOPMENT PLAN FOR THE CITY OF GLOUCESTER, 2001



A Comprehensive Plan

Prepared for:
The City of Gloucester, Massachusetts

Assembled by:
The Cecil Group, Inc.

August 13, 2001

III.B. DOWNTOWN

Busy Downtown Gloucester, adjacent to Gloucester Harbor, reflects the commercial history of the city, from late Federal brick and solid Victorian buildings, with varied uses, to working wharves, and a lumberyard and the Coast Guard Station at the water's edge.

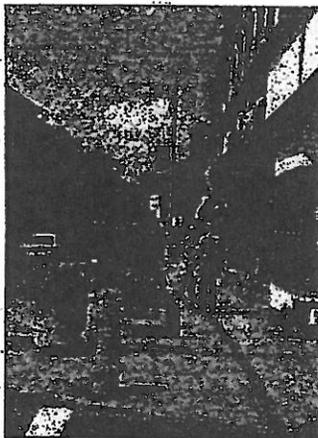
Residents and visitors like to be in the downtown, doing business or just walking. Traffic is sometimes heavy, and parking is often tight. It is truly a mixed-use district, with retail and commercial services, the Post Office and City Hall, library, social institutions, and a new generation of residents and businesses. Despite long-standing public and private effort to upgrade buildings and amenities to keep downtown and Main Street commercially alive, the area requires continued attention and investment. Much of downtown remains underused; some public and private properties are in relatively poor condition. The future offers continued opportunity for upgrading and face-lifting.



III.B.1 RESOURCES AND TRENDS

Downtown can be generally defined as the area inside Route 128, from Grant Circle Rotary to Fort Square, along 'the Boulevard', to the intersection of Main Street and East Main Street, and back to Grant circle. It includes an active civic center and is fundamentally linked to the harbor - physically, economically and historically.

City land use maps reveal a patchwork pattern of interwoven uses in this district, with clusters of similar uses along the meandering, yet linking, streets. Downtown is densely developed and densely populated, by any measure. With only about 5 percent of the city's land area, it is home to nearly 22 percent of the population, in a combination of single family and multi-family housing units. Zoning includes the R4 designation, the city's highest residential density, allowing up to 5 units per 5,000 square-foot lot, and makes up about half of the land in the downtown area. Architecture is primarily vernacular, with simple lines and peaked roofs.



At the same time, the downtown area supports almost half of the largest employers - Gorton's with over 250 employees, Shaw Markets, Gloucester High School, Fuller School, Strong Leather, and the YMCA contribute substantially to the employment base. These figures reveal the array of businesses and institutions located here; retail, office, restaurants - from European bistros to traditional seafood - industry, institutions and government are all well represented.

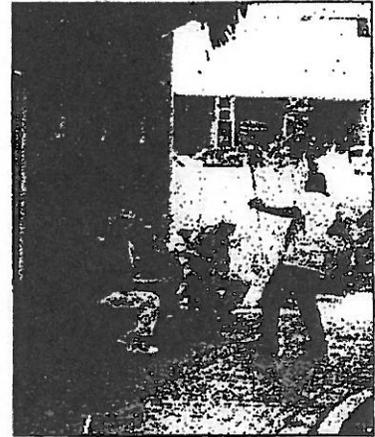
Variety makes downtown inviting. The West End of Main Street, featuring wonderfully restored brick buildings and sidewalks and period lighting, with occa-

DOWNTOWN

sional open spaces and side-streets, provides a pedestrian-friendly walkway. The central section has been enlivened with building façade improvements, planters, benches, and trees. The East End, however, has little "street furniture", is too wide in places, needs sidewalk and lighting improvements, and generally feels less hospitable. Rogers Street, which runs parallel to Main Street, is wide and unfriendly to pedestrians, with few amenities and heavy large truck traffic and parking. Many recommendations from the 1992 "Gillham & Gander Streetscape Study", a downtown improvement plan, remain to be completed; these would extend pedestrian amenities to Rogers Street and the length of Main Street.

As true of most busy commercial districts, parking and traffic are concerns, and downtown and the civic center depend on a well-orchestrated system for both. These issues are discussed in the Transportation section of this Plan.

The City has long recognized that the downtown needs special support because of the economic and physical challenges it faces. Although many improvements have made downtown more pleasant and efficient, the work is not complete. The Downtown Development Commission (DDC) has lead responsibility for working in concert with City agencies, businesses and institutions. Together, they should expand their stewardship in order to maintain the community vision of a diverse and busy downtown.



III.B.2. GOAL

Make Downtown Gloucester the center of the commercial and civic life of the city, with a variety and vitality of uses and attractiveness of historic buildings, pleasant streetscapes and connections to the harbor.

III.B.3. OBJECTIVES

- Accomplish consistent and progressive steps to enhance the visual quality and vitality of the Downtown, through the Downtown Development Commission and a centrally managed process.
- Secure funding and implementation of a range of improvements, including public restrooms and completion of the sidewalk and streetscape improvement program.
- Revitalize the East End of downtown.

DOWNTOWN

- Keep downtown clean of trash and litter.
- Maintain diversity of downtown services that attract residents and visitors.
- Expand opportunities for both market and affordable housing in the downtown, including use of space above street level businesses.
- Establish design guidelines and review processes for new development, additions, and restorations.
- Implement a comprehensive traffic and parking management strategy, including public transit improvements.
- Improve signage to destinations, attractions, and parking areas.

III.B.4. STRATEGIES

Strategy 1. Establish clear stewardship responsibilities for the Downtown, and provide the resources to fulfill them.

Gloucester's downtown, perched at the edge of the harbor, embodies the positive qualities of a commercial and civic center, where public and private uses are concentrated to create a high level of activity and special identity. Gloucester has maintained the historic character and vitality of its downtown, yet has a list of improvements and visions yet to be accomplished. Unlike in the past, the quality of the downtown environment cannot be sustained through market forces and isolated public investment; it needs constant stewardship to coordinate public and private investments and programs to ensure a positive future.

City leadership, the Community Development Department and business community must establish a clear allocation of responsibility and dedicate resources to the ongoing stewardship of the Downtown, through the Downtown Development Commission (DDC), with assistance from the Grants Office and the Cape Ann Chamber of Commerce. The DDC needs a renewed formal charge and direction for program initiatives, an infusion of resources to design and implement plans, and supportive and energetic participation of business and community leaders. The mission of the DDC is broad, as follows:

"It shall be the mission of the downtown development commission to encourage economic revitalization within a context of historic preservation, community involvement and activities, a strong identity and tourism. The commission shall undertake, but not be limited to, the following activities:

DOWNTOWN

- Examine and evaluate conditions on an ongoing basis.
- Propose and promote physical improvements.
- Coordinate public and private efforts.
- Encourage, in cooperation with the Cape Ann Chamber of Commerce, a creative marketing plan, coordinated advertising, promotions and special events.
- Promote establishment of new business.
- Encourage the establishment of special committees, composed of municipal officials, bankers, merchants, industrialists, preservationists, chamber of commerce officials, downtown residents, design professionals, developers, real estate brokers, and others concerned with downtown.
- Promote and encourage the proper mix of goods, services, housing, recreation and entertainment.
- Coordinate, through the community development department, the activities related to downtown of the historical commission, the historic district commission, the waterways board, the planning board, the tourism commission, the economic development and industrial corporation, the redevelopment authority, and the housing authority.⁸

Strategy 2. Complete physical improvements to the Downtown through a coordinated effort to secure funding, finalize designs and implement recommended changes.

Physical improvements are needed Downtown to enhance it as a place to work, visit and live. Downtown should provide interesting streets, with well-kept streetscape and the varied uses that line the sidewalks. It should express the historic heritage of Gloucester through preservation and restoration of its architecture. The district should be animated by activity, as the venue for delightful public events and art displays. The adjacent civic center is a pleasant place for the Library, museums, YMCA, City Hall and other resources. Downtown should be linked to the sea through attractive sidewalks and views to the Harbor.

Many of these improvements have been suggested in earlier plans and studies, including the streetscape program in the 1992 report by Gillham & Gander and the 1997 Downtown Vision process. Other improvements are linked to recommendations within this Plan: pedestrian and parking improvements, historic preservation, and improved harbor access. The DDC, assisted by the Community Development Department and the Department of Public Works, in cooperation with the Cape Ann Chamber of Commerce, should review potential

DOWNTOWN

improvements and prepare a program to design, fund, and implement a coordinated set of changes, to include the following:

- Direct available state and local resources to already planned streetscape and landscape improvements as recommended by the 1992 Gillham and Gander Report, including completion of handicapped access accommodations.
- Continue the building and Façade Improvement Program, administered by the Grants Office.
- Maintain and improve visual and pedestrian links to the harbor and to the civic center, reinforced by streetscape improvements.
- Clean up and maintain streets and sidewalks, routinely, with well-coordinated plans.
- Provide public restrooms in convenient locations, with easily understood directional signage.

The Downtown Development Commission should prioritize recommendations, actions and grants to improve the east end of the downtown. This end of downtown lags behind other areas in development, condition of the streets and sidewalks, buildings and parking areas. Public investment may stimulate private initiatives to improve the area.

Strategy 3. Create and manage ongoing programs to improve the image and market the Downtown.

There is more to a vital downtown than "bricks and mortar". The following promotion and maintenance program should provide for a consistent and high quality image, through cooperative stewardship:

- Support business-based programs for special events and seasonally marketed programs.
- Promote downtown to Gloucester visitors, improving market vitality.
- Clean up and maintain the streets and sidewalks, providing trash receptacles and routinely removing trash and litter.
- Market downtown to prospective businesses to fill vacant storefronts and office space.

DOWNTOWN

Strategy 4. Encourage mixed use of commercial and residential properties.

Downtown Gloucester is well suited to the preferences of an increasing number of people at all income levels who elect to live in urban locations. Downtown and the entire city will benefit from new development that uses second and third floor space to create a mix of commercial and residential uses, including artists' live/work spaces, and contributes to the sense of activity and security on the street.

Furthermore, several buildings on Main Street, and the adjacent commercial areas, are single-story and provide an opportunity to add height and space for residential and/or commercial use.

Strategy 5. Develop a Site Plan and Design Review process.

The economic future of downtown is linked to quality and character of design. More so than in any other part of the city, unattractive buildings and poorly planned and uncoordinated sites detract from the appearance and function of the entire district and discourage investment in neighboring properties.

A common-sense strategy for the mutual benefit of all property owners, as well as the city-as-a-whole, is to develop design guidelines and a review process to support a consistent quality of development and protect historic character. Design guidelines should be developed in concert with the district-based planning discussed in the Villages and Neighborhoods, Section III. C, element of this Plan. This review process that protects historic character and connections to the Harbor and the Civic Center should include the DDC, downtown business and property owners, design professionals, Historical Commission, Historic District Commission, and appropriate departments in City Administration.

Strategy 6. Coordinate efforts with the Historic District Commission, and the Civic Center and Historic District.

Downtown Gloucester, the so-called "heart of the city," includes a civic center core, with historic and architecturally interesting buildings. This area should be included in general downtown planning, the Site Plan and Design Review Process, and Façade Improvement Program, where it applies, in cooperation with the Historic District Commission, which has stewardship for the Historic District.

Strategy 7. Improve the Railroad Avenue railway station and adjacent area as a gateway to Downtown.

The Railroad Avenue railway station is one of several gateways to the city. Plans for the improvement of the station and the adjacent neighborhood have long been in the making. The DDC should continue to urge these improvements and work with city and state officials

DOWNTOWN

to bring the plans to fruition. The DDC should aggressively pursue station façade improvement, additional parking for commuter train riders, and thematic links between the station and downtown.

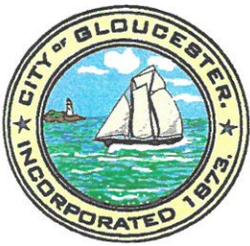
Strategy 8. Create a Downtown Traffic and Parking Plan that improves accessibility and supports the vitality of the downtown area.

Cooperative effort by the DDC, City staff, and the business community should continue to seek evolving improvements to traffic movement and convenient parking in downtown. The city-wide Transportation and Access Management Plan should include a Downtown Traffic and Parking element that promotes effective locations and efficient management for parking, and improves the perception of convenience. This effort should direct employees of downtown businesses and City agencies to alternative long-term parking locations, reserving central spaces for visitors and business patrons. This effort should also include signage that directs people to appropriate locations for both long and short-term parking.

The Traffic and Parking Plan should examine methods to increase service and use of public transportation, including innovative methods of shared vehicles and service-on-demand.

Strategy 9. Seek local, regional, state and federal funding to support Main Street and Downtown improvement.

The DDC should dedicate serious effort to search for funding, and the Community Development Department and the Grants Office should continue to seek and make funds available.



CITY OF GLOUCESTER
GLOUCESTER, MASSACHUSETTS 01930

CITY CLERK
GLOUCESTER, MA

CITY OF GLOUCESTER
Special Council Permit - Application
OCT 16 PM 1:39

RECEIVED

OCT - 2 2018

COMMUNITY DEVELOPMENT
CITY OF GLOUCESTER

December 20, 2018
(Public hearing to be held no later than
above date)

In conformance with the requirements of the Zoning Ordinance of the City of Gloucester, the undersigned hereby applies for a Special Council Permit (CC or CCS) in accordance with Section 1.8.3 of the Ordinance and other Sections as listed below:

Type of Permit (Give specific section of Zoning Ordinance)
Special Council Permit under Section 1.5.3(g) for a Drive Through Facility (Section 5.17)

Applicant's Name: Sam Park & Company, LLC, Samuel Park, Manager

Owner's
Name: Gloucester Commons, LLC, Samuel Park, Manager
(if different from applicant)

Location: 1 and 7 Gloucester Crossing Road Map #262 Lot #13 and 37
(Street Address)

Zoning Classification: Extensive Business

- Attached is a list of owners (with complete addresses) of land directly opposite on any public or private street or way, direct abutters, and abutters to the abutters of land within three hundred (300) feet of the property line, as they appear on the most recent City of Gloucester Assessor's Maps and Tax list.
- Attached is a listing of criteria set forth in Section 1.8.3 of the Zoning Ordinance, including any supportive material or comments the applicant may wish to include (i.e. ZBA decisions, Order of Conditions, etc.) if necessary.
- Attached are the necessary plans as set forth in Section 1.5.3, of the Zoning Ordinance, which at a minimum consist of an accurate plot plan (to scale) showing existing and/or proposed building or structures.

City of Gloucester - Action	
Fee:	<u>\$350.00</u>
City Clerk (received):	<u>10/16/18</u>
City Council (received):	<u>10/22/18</u>
Public Hearing (ordered):	_____
Public Hearing (opened):	_____
Public Hearing (closed):	_____
Final Decision:	_____
Disposition	_____
(Approved, Denied, Approved w/conditions)	

APPLICANT:

[Signature]
Name (Signature)

333 School Street, #200 Mansfield, MA C
Address
617-742-5589
Telephone

Certified for completeness!
Building Inspector: [Signature] Date: 10/4/18
Planning Director: [Signature] Date: 10/4/18

Section 1.8.3 (Use additional sheets, if necessary)

1. Social, Economic, or community need served by the proposal:

Please see Supplement Sheet 1

2. Traffic flow and safety:

Please see Supplement Sheet 1

3. Adequacy of utilities and other public services:

Please see Supplement Sheet 1

4. Neighborhood character and social structure:

Please see Supplement Sheet 1

5. Qualities of the natural environment:

Please see Supplement Sheet 1

6. Potential fiscal impact:

Please see Supplement Sheet 1

The applicant is advised that City staff is available to assist the applicant in preparing the Application, including the Inspector of Buildings and City Planner

Supplemental Sheet 1 to Application
Retail Drive Through Facility

The Applicant believes that the proposed Drive Through Facility will be in harmony with the intent and purpose of the Zoning Ordinance as the proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the City. The Applicant bases that statement on a careful analysis of the six criteria that the Council shall consider in granting a Special Permit under Section 1.8.3:

1. **Social, economic, or community needs** are served by the proposal as the drive through retail will be compatible with other commercial uses in the shopping center and neighboring Fuller School development. Gloucester Crossing is fulfilling its proposed use of providing additional opportunities for retail, services, restaurant, and employment. Research indicates the demand for drive through services by drivers with children in the car, disabled drivers, and commuters. For Gloucester Crossing to be a full service retail center, there is a need for a pharmacy, bank, or other retail drive through services.
2. **Traffic flow and safety** are adequately addressed as the drive through design complies with the requirements under Section 5.17.5. The initially approved Gloucester Crossing Special Permits included a drive through special permit for a bank. A Traffic Impact Study was prepared at that time indicating compliance with traffic flow and safety issues. The approved drive through facility was later removed in a configuration/modification of the Center in 2010. Now with the removal of the hotel, the overall traffic generation of the project will decrease from originally anticipated levels. A traffic study specific to the proposed drive through by a registered professional engineer as required under Section 5.17.5(a) accompanies this application and indicates no adverse impact with the proposed retail drive through facility. All access drives, stacking lanes and drive through facility are completely located within the retail center.
3. Municipal **utilities** are determined to be adequate as the proposed drive through facility is consistent with the original utility design approvals. The project had been master planned to include future construction and all necessary infrastructure is in place.

4. The **neighborhood character and social structure** are appropriate for this drive through use as all aspects of the drive through will be located within the existing shopping center. Architecture has been designed to be consistent with the established materials and design. No impact is anticipated on the neighborhood character or its social structure.

5. The **natural environment** will be improved by the buildout of Phase 2 of the Gloucester Crossing shopping center by eliminating a large as yet unbuilt area. Expansion and improvement are ongoing. All mitigation for the shopping center was implemented during the initial construction, upgrading a swath of degraded resource area, providing landscaped islands, wide landscaped property line buffer areas, and significantly improved drainage patterns.

6. The **potential fiscal impact** is positive as the substantial investment in the initial Phase of development has provided employment, higher tax assessment, and customer satisfaction. Those impacts will increase through the development of Phase 2 of the shopping center.

Supplemental Sheet 2

In addition to the Standards under Gloucester Zoning Ordinance section 1.8.3 outlined on Supplemental Sheet 1, Section 5.17.5 cites certain performance standards for a drive through facility. They are:

- a. Traffic – The traffic impact study update indicates that with the removal of the traffic associated with the large hotel the overall traffic generation for the shopping center will decrease and have no negative impact on traffic at Gloucester Crossing.
- b. Site Plan – the site plan submitted with this application in addition to the requirement information indicates that any points of traffic conflict are minimized.
- c. Site Access – the proposed use is entirely within the approved Gloucester Crossing shopping center site with no separate access.
- d. Stacking Lanes – attention has been given so that all requirements under this section are met as to size and number of each stacking space and appropriate layout such that there are no impediments to other aspects of the shopping center. See Site Plan.
- e. Layout of Outdoor Service Equipment – Signs will be no larger than the approved maximum.
- f. Lighting – There is no flood lighting and all proposed lighting meets the standards of Section 5.17.5(f). Light fixtures are shown on the drawings. Lighting will be consistent with existing lighting at Gloucester Crossing.
- g. Landscaping – Landscaping will be consistent with the design and upkeep now at Gloucester Crossing and is shown on the site plan.

Operation and Security – The proposed drive-through use is part of the overall shopping center and will be supervised by a full time property management company. The management company is responsible for the overall security of the property and addresses the issue by use of cameras in certain areas, and periodic site inspections during operating hours by its personnel. As with other tenants in the center, the tenant will be responsible

for maintaining any trash receptacles specific to their use, and the sidewalk directly in front of their space. The owner, through the property management company, maintains the common areas of the center. Hours of operation for the retail/pharmacy use are expected to be 8AM – 10PM.

Application for Special Permit

The undersigned applicant hereby applies for a special permit under M.G.L., Ch. 40A, § 9 as follows.

1. Applicant (includes equitable owner or purchaser on a purchase and sales agreement):

Name: Sam Park & Company, LLC

Address: 333 School Street #200 Mansfield, MA 02048

Tel.# Days 617-742-5589 Evenings _____

_____ Check here if you are the purchaser on a purchase and sales agreement.

2. Owner, if other than applicant:

Name: Gloucester Commons, LLC

Address: 333 School Street #200 Mansfield, MA 02048

Tel.# Days 617-742-5589 Evenings _____

3. Property:

Street address: 1 and 7 Gloucester Crossing Road

Assessor's Map: 262 Lot: 13 and 37

Registry of Deeds where deed, plan, or both records:

Essex South

Deed recording: Book Registered Page 80200 Cert.

Plan recording: Plan # 26398-A

Property is located in the Extensive Business zoning district.

4. Nature of relief requested:

Special permit pursuant to Article/Section 5.17 of the Zoning Ordinance/By-Law

which authorizes the Gloucester City Council to permit

a drive through facility

Detailed explanation of request:

The applicant proposes a drive through facility at Building E, the location of the formerly proposed and permitted hotel. This would be a strictly retail/ban/service facility. A bank drive through facility had originally been permitted for the Gloucester Crossing Shopping Center, but at the time there was not sufficient interest. Now, there is a demonstrated demand for this shopping convenience.

5. Evidence to support grant of special permit:

Because of reasons set forth below, the special permit requested will be in harmony with the intent and purpose of the Zoning Ordinance/By-Law:

One purpose of the Ordinance as stated in Section 1.2 is to promote and enhance the health, safety, convenience, quality of life and welfare of the residents of the City. The drive through facility has been designed to ensure the safety of drivers, pedestrians, and other Gloucester Crossing visitors. In addition, it provides the convenience that people desire for example, for picking up a prescription, making a deposit, picking up laundry or other non-food uses at a drive through .

Because of reasons set forth below, the special permit requested will meet the additional requirements of the Zoning Ordinance/By-Law as follows:

There are specific performance standards that are required for a special permit for a drive through facility. These are described in Supplement Sheet 2 for review.

If someone other than owner or equitable owner (purchaser on a purchase and sales agreement) is the Applicant or will represent the Applicant, owner or equitable owner, must designate such representative below.

Name of Representative: Michele Holovak Harrison

Address of Representative: 27 Sayward Street, Gloucester, MA 01930

Tel. # Days 508-284-4499 Evenings

Relationship of representative to owner or equitable owner:

Special Permit Project Manager for Sam Park & Company/Gloucester Crossing

Michele Holovak Harrison

I hereby authorize _____ to represent my interests before the
Special Permit Granting Authority with respect to this Special Permit Application.

(Signed by owner/equitable owner)



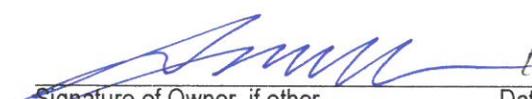
I hereby certify under the pains and penalties of perjury that the information contained in this
Application is true and complete.



10/2/18

Signature of Applicant

Date



10/2/18

Signature of Owner, if other
than Applicant

Date

Signature of Equitable Owner
who is filing application to
satisfy condition of
Purchase and Sales agreement

Date



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
31-18 GLOUCESTER CITY OF	18A BECKFORD ST	31-18	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
46-52 AMERO DOUGLAS F & DEBORAH J	79 PERKINS ST	46-52	AMERO DOUGLAS F & DEBORAH J 79 PERKINS ST GLOUCESTER, MA 01930
46-30 RUNNELLS ERNEST P & JEAN LYNN	80 PERKINS ST	46-30	RUNNELLS ERNEST P & JEAN LYNN 80 PERKINS ST GLOUCESTER, MA 01930
46-31 OLIVEIRA MARK D & ANN MARIE	82 PERKINS ST	46-31	OLIVEIRA MARK D & ANN MARIE 82 PERKINS ST GLOUCESTER, MA 01930
46-32 CANTY TIMOTHY J & LORINDA L	84 PERKINS ST	46-32	CANTY TIMOTHY J & LORINDA L 84 PERKINS ST GLOUCESTER, MA 01930
262-9 PERRUZZI RICHARD TR PERRUZZI NOMINEE TRUST OF 2006	10 SADLER STREET EX	262-9	PERRUZZI RICHARD TR PERRUZZI NOMINEE TRUST OF 2006 320 WESTERN AV GLOUCESTER, MA 01930
262-14 GLOUCESTER CITY OF	4 SCHOOL HOUSE RD	262-14	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
262-36 GLOUCESTER CITY OF	7 SCHOOL HOUSE RD	262-36	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-17 GLOUCESTER CITY OF	15R DODGE ST	31-17	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-16 PSZENNY NICOLAS CHARLES	27 DODGE ST	31-16	PSZENNY NICOLAS CHARLES 27 DODGE ST GLOUCESTER, MA 01930-2903



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
28-29 OLIVER RAPHAEL & DEBORAH TBYE	30 DODGE ST	28-29	OLIVER RAPHAEL & DEBORAH TBYE 30 DODGE ST GLOUCESTER, MA 01930
262-13 GLOUCESTER COMMONS LLC C/O DSM REALTY	1 GLOUCESTER CROSSING	262-13	GLOUCESTER COMMONS LLC C/O DSM REALTY 875 EAST STREET TEWKSBURY, MA 01876
262-37 GLOUCESTER COMMONS LLC C/O DSM REALTY	7 GLOUCESTER CROSSING RD	262-37	GLOUCESTER COMMONS LLC C/O DSM REALTY 875 EAST ST TEWKSBURY, MA 01876
31-19 GLOUCESTER CITY OF	6 GREEN ST	31-19	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-20 GLOUCESTER CITY OF	10 GREEN ST	31-20	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
46-14 SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR	14A GREEN ST	46-14	SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR 14 GREEN ST GLOUCESTER, MA 01930
46-15 SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR	14 GREEN ST	46-15	SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR 14 GREEN ST GLOUCESTER, MA 01930
46-13 QUINN DAVID G & MARY BETH	16 GREEN ST	46-13	QUINN DAVID G & MARY BETH 16 GREEN ST GLOUCESTER, MA 01930
46-12 CHURCHILL GAIL M	20 GREEN ST	46-12	CHURCHILL GAIL M 20 GREEN ST GLOUCESTER, MA 01930
46-11 CONSIGLIO PHILIP & GAIL P	22 GREEN ST	46-11	CONSIGLIO PHILIP & GAIL P 22 GREEN ST GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
46-9 LINQUATA LILLIAN R & DAVID M	26 GREEN ST	46-9	LINQUATA LILLIAN R & DAVID M 26 GREEN ST GLOUCESTER, MA 01930
46-8 KERN CLAYTON S & JENNIFER R	28 GREEN ST	46-8	KERN CLAYTON S & JENNIFER R 28 GREEN ST GLOUCESTER, MA 01930
46-7 CROFT WILLIAM L CROFT DOROTHY	30 GREEN ST	46-7	CROFT WILLIAM L CROFT DOROTHY 30 GREEN ST GLOUCESTER, MA 01930
46-6 DAVIS CHRISTOPHER W & MIMI V	32 GREEN ST	46-6	DAVIS CHRISTOPHER W & MIMI V 32 GREEN ST GLOUCESTER, MA 01930
46-5 MASON CARLO J & SHARON A	34 GREEN ST	46-5	MASON CARLO J & SHARON A 34 GREEN ST GLOUCESTER, MA 01930
46-36-995 35-37 GREEN ST TH CONDO TRUST C/O PARTINGTON DEREK & LISA	35 GREEN ST 995	46-36	35-37 GREEN ST TH CONDO TRUST C/O PARTINGTON DEREK & LISA 37 GREEN ST UNIT 1 GLOUCESTER, MA 01930
46-36-2 CROWLEY THOMAS P	35 GREEN ST 2	46-36	CROWLEY THOMAS P 35 GREEN ST UNIT 2 GLOUCESTER, MA 01930
46-36-1 MORIARTY GINA C	37 GREEN ST 1	46-36	MORIARTY GINA C 37 GREEN ST UNIT 1 GLOUCESTER, MA 01930
46-4 RUTKAUSKAS JASON A & KRISTIN H	38 GREEN ST	46-4	RUTKAUSKAS JASON A & KRISTIN H 38 GREEN ST GLOUCESTER, MA 01930
46-3 SMITH DAVID B TBYE & CAROLE AN	40 GREEN ST	46-3	SMITH DAVID B TBYE & CAROLE AN 40 GREEN ST GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
46-33 MURRAY DAVID P & MICHELE A TE	41 GREEN ST	46-33	MURRAY DAVID P & MICHELE A TE 41 GREEN ST GLOUCESTER, MA 01930
46-2 ALLEN COLLEEN M & FOOTE JARED M	42 GREEN ST	46-2	ALLEN COLLEEN M & FOOTE JARED M 42 GREEN ST GLOUCESTER, MA 01930
262-15 OLSON GUSTAVE JR & SANDRA TRS ET AL OLSON ESSEX COUNTY REALTY TRUST	41 TRASK ST	262-15	OLSON GUSTAVE JR & SANDRA TRS ET AL OLSON ESSEX COUNTY REALTY TRUST 1 MALLARD WY GLOUCESTER, MA 01930
262-5 GLOUCESTER CITY OF	43 WEBSTER ST	262-5	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
262-7 BARRY SCOTT A BARRY MARGO E TB	1 PERKINS PK	262-7	BARRY SCOTT A BARRY MARGO E TB 1 PERKINS PK GLOUCESTER, MA 01930
262-28 CURLEY SCOTT C SR & JOANN	4 PERKINS PK	262-28	CURLEY SCOTT C SR & JOANN 4 PERKINS PK GLOUCESTER, MA 01930
262-30 MCCARTHY MICHAEL J & DEBRA TE	5 PERKINS PK	262-30	MCCARTHY MICHAEL J & DEBRA TE 5 PERKINS PK GLOUCESTER, MA 01930
262-29 COBLE ROSEANNE & JAMES	6 PERKINS PK	262-29	COBLE ROSEANNE & JAMES 6 PERKINS PK GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

Abutters to Parcel: Map-Lot-Unit 262-13

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER

STREET ADDRESS

PARCEL NO.

TAX BILL ADDRESS

The Gloucester Board of Assessors certifies that the Abutters Report program written to create a list of the names and addresses of property owners from the applicable tax list has been reviewed. To the best of our knowledge and belief the Abutters Report program generates an accurate list from the most recent tax list of the assessed owner of record and the mailing information of the parties in interest as defined within and required by the law and therefore the within document constitutes a certified abutters list.

Nancy A. Papows, MAA
Gary I. Johnstone, MAA
Bethann Brousseau, MAA
GLOUCESTER BOARD OF ASSESSORS

City of Gloucester Assessors' Office, City Hall, 9 Dale Avenue, Gloucester, MA 01930

9/13/2018



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER

STREET ADDRESS

PARCEL NO.

TAX BILL ADDRESS

The Gloucester Board of Assessors certifies that the Abutters Report program written to create a list of the names and addresses of property owners from the applicable tax list has been reviewed. To the best of our knowledge and belief the Abutters Report program generates an accurate list from the most recent tax list of the assessed owner of record and the mailing information of the parties in interest as defined within and required by the law and therefore the within document constitutes a certified abutters list.

Nancy A. Papows, MAA

Gary I. Johnstone, MAA

Bethann Brousseau, MAA

GLoucester BOARD OF ASSESSORS

City of Gloucester Assessors' Office, City Hall, 9 Dale Avenue, Gloucester, MA 01930

9/13/2018

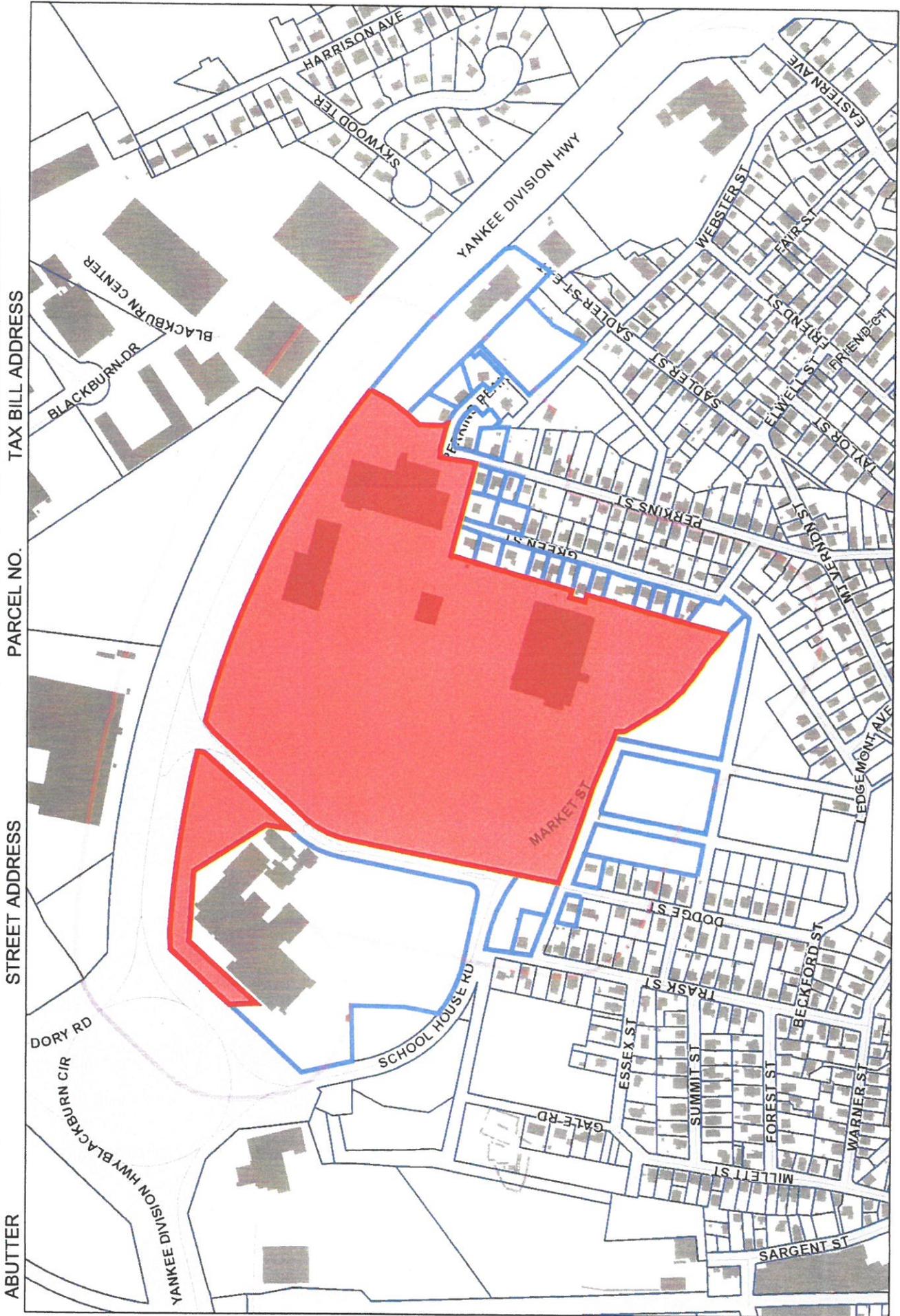


City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.



ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
---------	----------------	------------	------------------



MEMORANDUM

TO: Mr. Peter Kutrubes.
Gloucester Commons, LLC

FROM: Kenneth P. Cram, P.E.

CC:

DATE: September 28, 2018

RE: Proposed Gloucester Crossing Site Modifications
Gloucester, MA

This memorandum has been prepared to assess the traffic impact associated with the modification of the existing Gloucester Crossing shopping Center on Route 128 in Gloucester, Massachusetts. This assessment has reviewed the current approved plan and the proposed plan changes, performed an assessment of the expected change in site traffic generation and reviewed the City of Gloucester Zoning Regulations as they affect the two proposed drive-throughs contained within the proposed site modifications. Based on a review of the site modifications and their projected traffic generation, the site modifications will not generate a significant increase in traffic volume.

PROJECT DESCRIPTION

The existing site is located on the south side of Route 128, east of Blackburn Circle and School House Road. Currently, the site is abutted by residences to the east, Route 128 to the north and School House Road to the west. Currently, Gloucester Crossing is approved for approximately 188,400 square feet (sf) of retail space with a 100 room extended stay hotel and an 80 to 100 room assisted-living facility. Access to Gloucester Crossing is provided by a right-turn in/out only driveway to Route 128 and by way of School House Road.

The site modifications include an increase and minor re-configuration of the un-constructed portion of the site in the northwest corner of the site. These modifications include the removal of the hotel and a minor increase in the retail space (approximately 11,600 sf). It is anticipated that the new square footage would include a coffee shop with a drive-through and a retail use with a drive-through (such as a pharmacy or bank). Under the new proposed conditions, access will continue to be provided by the right-turn in/out only driveway to Route 128 and by way of School House Road. Figure 1 shows the site in relation to the roadway network.



**TABLE 1
TRIP-GENERATION SUMMARY COMPARISON**

	Current Approved Plan			Proposed Plan
	Hotel Trips ^a	Retail Trips ^b	Total Trips	Total Proposed Trips ^b
Average Weekday Daily Traffic	442	9,248	9,690	9,632
<i>Weekday Morning Peak Hour:</i>				
Entering	16	153	169	156
<u>Exiting</u>	<u>23</u>	<u>93</u>	<u>116</u>	<u>96</u>
Total	39	246	285	252
<i>Weekday Evening Peak Hour:</i>				
Entering	18	417	435	436
<u>Exiting</u>	<u>14</u>	<u>451</u>	<u>465</u>	<u>472</u>
Total	32	868	900	908
Saturday Daily Traffic	580	13,200	13,780	13,698
<i>Saturday Midday Peak Hour:</i>				
Entering	22	531	553	556
<u>Exiting</u>	<u>24</u>	<u>490</u>	<u>514</u>	<u>514</u>
Total	46	1,021	1,067	1,070

^aBased on LUC 312 – Business Hotel, 100 rooms.

^bBased on LUC 820 – Shopping Center, 188,400 sf.

^cBased on LUC 820 – Shopping Center, 200,000 sf.

On a typical weekday, with the proposed site modifications, Gloucester Crossing is projected to generate approximately 60 fewer daily trips and approximately 80 fewer trips on a Saturday. During the weekday morning peak hour, Gloucester Crossing is projected to generate approximately 30 fewer trips. During the weekday evening peak and Saturday midday peak hours, Gloucester Crossing is projected to generate approximately the same amount of trips with the proposed site modifications.



DRIVE THROUGH OPERATIONS

As indicated previously, there will be two drive-through lanes added for two particular uses. The proposed coffee shop would have one drive-through and the proposed retail use would have the second drive-through.

The potential coffee shop drive-through has been designed to accommodate approximately eleven (11) vehicles in a separate queue. There is a by-pass lane provided, which would allow a vehicle to exit the drive-through lane if they do not want to wait in queue, and bypass the queue and enter the parking field. Based on observations of vehicle queues at other coffee shops, the projected eleven (11) car queue will be more than adequate to handle the expected demand. This queue will not affect operations on either Route 128 or School House Road, as these two roads provide the primary access to the site. Sight lines were reviewed for vehicles exiting the drive-through into the parking field and found to be adequate for safe operation.

The second drive-through was assumed to be for a pharmacy, as pharmacies would represent the land use with the most conservative demand. For a pharmacy, five (5) cars would be provided for in the drive-through lane, which would be more than adequate to handle the demand for a pharmacy. Observations of other pharmacies indicate that generally the maximum queue is two or three vehicles. As five (5) vehicles are provided for, and a bypass lane also exists, the five (5) car queue length provided would be adequate to serve a pharmacy. Again, the queue for a pharmacy would not affect operations on either Route 128 or School House Road, as these two roads provide the primary access to the overall site. Sight lines were also reviewed for vehicles exiting the drive-through. For this drive-through, safe operation is expected as all traffic must turn left out of the drive through, into one-way flow behind the building into the parking field.

The City of Gloucester Zoning Ordinance was reviewed relative to drive-through lanes (Section 5.17). The proposed drive-through lanes meet the requirements identified for stacking in terms of length, width and delineation. A by-pass lane is provided for both drive-through lanes.

CONCLUSION

On a typical weekday, with the proposed site modifications, Gloucester Crossing is projected to generate approximately 60 fewer daily trips and approximately 80 fewer trips on a Saturday. During the weekday morning peak hour, Gloucester Crossing is projected to generate approximately 30 fewer trips. During the weekday evening peak and Saturday midday peak hours, Gloucester Crossing is projected to generate approximately the same amount of trips with the proposed site modifications.

The projected queues from the coffee shop or a pharmacy drive-through will not affect operations on either Route 128 or Schoolhouse Road. There is adequate queue length in each respective drive-through to handle the expected demand.



APPENDIX

TRAFFIC GENERATION WORKSHEETS



TRAFFIC GENERATION WORKSHEETS

Proposed Extended Stay Hotel, Gloucester, MA

Land Use Code (LUC) 312 - Business Hotel

Source : Institute of Transportation Engineers (ITE) Trip Generation, 10th Edition

Average Vehicle Trips Ends vs.: Rooms

Independent Variable (X): 100 rooms

AVERAGE WEEKDAY DAILY

$$T = 2.90 * (X) + 151.69 \quad R^2 = 0.89$$
$$T = 2.90 * (100) + 151.69 \quad 10 \text{ Studies, Avg. No. of rooms} = 136$$
$$T = 441.69 \quad \text{Avg. Rate} = 4.02 \text{ trips/room}$$
$$T = 442 \quad \text{vehicle trips}$$

with 50% (221 vpd) entering and 50% (221 vpd) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.35 * (X) + 4.40 \quad R^2 = 0.52$$
$$T = 0.35 * (100) + 4.40 \quad 18 \text{ Studies, Avg. No. of rooms} = 121$$
$$T = 39.40 \quad \text{Avg. Rate} = 0.39 \text{ trips/room}$$
$$T = 39 \quad \text{vehicle trips}$$

with 42% (16 vph) entering and 58% (23 vph) exiting.

0.16 0.23

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$$\text{Ln } T = 0.95 \text{ Ln } (X) - 0.76 \quad R^2 = 0.62$$
$$\text{Ln } T = 0.95 \text{ Ln } (100.00) - 0.76 \quad 11 \text{ Studies, Avg. No. of rooms} = 138$$
$$\text{Ln } T = 3.61 \quad \text{Avg. Rate} = 0.38 \text{ trips/room}$$
$$T = 37.15$$
$$T = 37 \quad \text{vehicle trips}$$

with 43% (16 vph) entering and 57% (21 vph) exiting.

0.16 0.21

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.32 * (X) \quad R^2 = \text{Not Given}$$
$$T = 0.32 * (100) \quad 23 \text{ Studies, Avg. No. of rooms} = 119$$
$$T = 32.00 \quad \text{Avg. Rate} = 0.32 \text{ trips/room}$$
$$T = 32 \quad \text{vehicle trips}$$

with 55% (18 vph) entering and 45% (14 vph) exiting.

WEEKDAY EVENING PEAK HOUR OF GENERATOR

$$\text{Ln } T = 0.53 \text{ Ln } (X) + 1.34 \quad R^2 = 0.56$$
$$\text{Ln } T = 0.53 \text{ Ln } (100.00) + 1.34 \quad 11 \text{ Studies, Avg. No. of rooms} = 138$$
$$\text{Ln } T = 3.78 \quad \text{Avg. Rate} = 0.37 \text{ trips/room}$$
$$T = 43.85$$
$$T = 44 \quad \text{vehicle trips}$$

with 59% (26 vph) entering and 41% (18 vph) exiting.

21.00 20.00

Proposed Extended Stay Hotel, Gloucester, MA

Land Use Code (LUC) 312 - Business Hotel

Source : Institute of Transportation Engineers (ITE) Trip Generation, 10th Edition

Average Vehicle Trips Ends vs.: Rooms

Independent Variable (X): 100 rooms

SATURDAY DAILY

$$T = 5.79 * (X)$$

R²= Not Given

$$T = 5.79 * (100)$$

3 Studies, Avg. No. of rooms = 105

$$T = 579.00$$

Avg. Rate = 5.79 trips/room

$$T = 580 \quad \text{vehicle trips}$$

with 50% (290 vpd) entering and 50% (290 vpd) exiting.

SATURDAY MIDDAY PEAK HOUR OF GENERATOR

$$T = 0.42 * (X) + 3.74$$

R² = 0.68

$$T = 0.42 * (100) + 3.74$$

5 Studies, Avg. No. of rooms = 93

$$T = 45.74$$

Avg. Rate = 0.46 trips/room

$$T = 46 \quad \text{vehicle trips}$$

with 48% (22 vpd) entering and 52% (24 vpd) exiting.

SUNDAY DAILY

$$T = 4.43 * (X)$$

R²= Not Given

$$T = 4.43 * (100)$$

3 Studies, Avg. No. of rooms = 105

$$T = 443.00$$

Avg. Rate = 4.43 trips/room

$$T = 443 \quad \text{vehicle trips}$$

with 50% (222 vpd) entering and 50% (221 vpd) exiting.

SUNDAY MIDDAY PEAK HOUR OF GENERATOR

$$T = 0.46 * (X)$$

R²= Not Given

$$T = 0.46 * (100)$$

3 Studies, Avg. No. of rooms = 105

$$T = 46.00$$

Avg. Rate = 0.46 trips/room

$$T = 46 \quad \text{vehicle trips}$$

with 46% (21 vpd) entering and 54% (25 vpd) exiting.

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 188.400 ksf

AVERAGE WEEKDAY DAILY

$$\ln T = 0.68 \ln(X) + 5.57$$

$$R^2 = 0.76$$

$$\ln T = 0.68 \ln(188.400) + 5.57$$

147 Studies, Avg size = 453

$$\ln T = 9.13$$

$$T = 9248.58 \quad (\text{Avg Rate} = 37.75 \text{ trips/ksf})$$

$$T = 9,248 \text{ vehicle trips} \quad (\text{Rate} = 49.09 \text{ trips/ksf})$$

with 50% (4,624 vpd) entering and 50% (4,624 vpd) exiting.

24.55

24.55

49.09

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.50 * (X) + 151.78$$

$$R^2 = 0.50$$

$$T = 0.50 * (188.400) + 151.78$$

84 Studies, Avg size = 351 ksf

$$T = 245.98$$

$$(\text{Avg Rate} = 0.94 \text{ trips/ksf})$$

$$T = 246 \text{ vehicle trips}$$

$$(\text{Rate} = 1.306 \text{ trips/ksf})$$

with 62% (153 vph) entering and 38% (93 vph)

0.81

0.50

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$$T = 2.76 * (X) + 77.28$$

$$R^2 = 0.71$$

$$T = 2.76 * (188.400) + 77.28$$

47 Studies, Avg size = 323 ksf

$$T = 597.26$$

$$(\text{Avg Rate} = 3 \text{ trips/ksf})$$

$$T = 597 \text{ vehicle trips}$$

$$(\text{Rate} = 3.169 \text{ trips/ksf})$$

with 54% (322 vph) entering and 46% (275 vph)

1.71

1.46

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.74 \ln(X) + 2.89$$

$$R^2 = 0.82$$

$$\ln T = 0.74 \ln(188.400) + 2.89$$

261 Studies, Avg size = 327

$$\ln T = 6.77$$

$$T = 868.30 \quad (\text{Avg Rate} = 3.81 \text{ trips/ksf})$$

$$T = 868 \text{ vehicle trips} \quad (\text{Rate} = 4.607 \text{ trips/ksf})$$

with 48% (417 vph) entering and 52% (451 vph) exiting.

2.21

2.40

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.72 \ln(X) + 3.02$$

$$R^2 = 0.76$$

$$\ln T = 0.72 \ln(188.400) + 3.02$$

53 Studies, Avg size = 298

$$\ln T = 6.79$$

$$T = 890.49 \quad (\text{Avg Rate} = 4.21 \text{ trips/ksf})$$

$$T = 890 \text{ vehicle trips} \quad (\text{Rate} = 4.724 \text{ trips/ksf})$$

with 50% (445 vph) entering and 50% (445 vph) exiting.

2.36

2.36

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 188.400 ksf

SATURDAY DAILY

$$\ln T = 0.62 \ln (X) + 6.24$$

$$R^2 = 0.71$$

$$\ln T = 0.62 \ln (188.400) + 6.24$$

58 Studies, Avg size = 602

$$\ln T = 9.49$$

$$T = 13199.20 \quad (\text{Avg Rate} = 46.12 \text{ trips/ksf})$$

$$T = 13,200 \quad \text{vehicle trips} \quad (\text{Rate} = 70.06 \text{ trips/ksf})$$

with 50% (6,600 vpd) entering and 50% (6,600 vpd) exiting.
35.03 35.03

SATURDAY PEAK HOUR OF GENERATOR

$$\ln T = 0.79 \ln (X) + 2.79$$

$$R^2 = 0.87$$

$$\ln T = 0.79 \ln (188.400) + 2.79$$

119 Studies, Avg size = 416

$$\ln T = 6.93$$

$$T = 1020.93 \quad (\text{Avg Rate} = 4.5 \text{ trips/ksf})$$

$$T = 1,021 \quad \text{vehicle trips} \quad (\text{Rate} = 5.419 \text{ trips/ksf})$$

with 52% (531 vph) entering and 48% (490 vph) exiting.
2.82 2.60

SUNDAY DAILY

$$T = 21.10 * (X)$$

$$R^2 = \text{Not Given}$$

$$T = 21.10 * (188.400)$$

30 Studies, Avg size = 509

$$T = 3,975.24 \quad (\text{Avg Rate} = 21.20 \text{ trips/ksf})$$

$$T = 3,976 \quad \text{vehicle trips} \quad (\text{Rate} = 21.1 \text{ trips/ksf})$$

with 50% (1,988 vpd) entering and 50% (1,988 vpd) exiting.
10.55 10.55

SUNDAY PEAK HOUR OF GENERATOR

$$T = 2.79 * (X)$$

$$R^2 = \text{Not Given}$$

$$T = 2.79 * (188.400)$$

39 Studies, Avg sf of GFA = 369

$$T = 525.64 \quad (\text{Avg Rate} = 2.79 \text{ trips/ksf})$$

$$T = 526 \quad \text{vehicle trips} \quad (\text{Rate} = 3.12 \text{ trips/ksf})$$

with 49% (258 vph) entering and 51% (268 vph) exiting.
1.37 1.42

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 200.000 ksf

AVERAGE WEEKDAY DAILY

$$\ln T = 0.68 \ln (X) + 5.57$$

$$R^2 = 0.76$$

$$\ln T = 0.68 \ln (200.000) + 5.57$$

147 Studies, Avg size = 453

$$\ln T = 9.17$$

$$T = 9632.09 \quad (\text{Avg Rate} = 37.75 \text{ trips/ksf})$$

$$T = 9,632 \quad \text{vehicle trips} \quad (\text{Rate} = 48.16 \text{ trips/ksf})$$

with 50% (4,816 vpd) entering and 50% (4,816 vpd) exiting.

24.08

24.08

48.16

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.50 * (X) + 151.78$$

$$R^2 = 0.50$$

$$T = 0.50 * (200.000) + 151.78$$

84 Studies, Avg size = 351 ksf

$$T = 251.78$$

$$(\text{Avg Rate} = 0.94 \text{ trips/ksf})$$

$$T = 252 \quad \text{vehicle trips}$$

$$(\text{Rate} = 1.26 \text{ trips/ksf})$$

with 62% (156 vph) entering and 38% (96 vph)

0.78

0.48

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$$T = 2.76 * (X) + 77.28$$

$$R^2 = 0.71$$

$$T = 2.76 * (200.000) + 77.28$$

47 Studies, Avg size = 323 ksf

$$T = 629.28$$

$$(\text{Avg Rate} = 3 \text{ trips/ksf})$$

$$T = 629 \quad \text{vehicle trips}$$

$$(\text{Rate} = 3.145 \text{ trips/ksf})$$

with 54% (340 vph) entering and 46% (289 vph)

1.70

1.45

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.74 \ln (X) + 2.89$$

$$R^2 = 0.82$$

$$\ln T = 0.74 \ln (200.000) + 2.89$$

261 Studies, Avg size = 327

$$\ln T = 6.81$$

$$T = 907.56 \quad (\text{Avg Rate} = 3.81 \text{ trips/ksf})$$

$$T = 908 \quad \text{vehicle trips} \quad (\text{Rate} = 4.54 \text{ trips/ksf})$$

with 48% (436 vph) entering and 52% (472 vph) exiting.

2.18

2.36

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.72 \ln (X) + 3.02$$

$$R^2 = 0.76$$

$$\ln T = 0.72 \ln (200.000) + 3.02$$

53 Studies, Avg size = 298

$$\ln T = 6.83$$

$$T = 929.63 \quad (\text{Avg Rate} = 4.21 \text{ trips/ksf})$$

$$T = 930 \quad \text{vehicle trips} \quad (\text{Rate} = 4.65 \text{ trips/ksf})$$

with 50% (465 vph) entering and 50% (465 vph) exiting.

2.33

2.33

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 200.000 ksf

SATURDAY DAILY

$$\ln T = 0.62 \ln (X) + 6.24$$

$$R^2 = 0.71$$

$$\ln T = 0.62 \ln (200.000) + 6.24$$

58 Studies, Avg size = 602

$$\ln T = 9.52$$

$$T = 13697.34 \quad (\text{Avg Rate} = 46.12 \text{ trips/ksf})$$

$$T = 13,698 \quad \text{vehicle trips} \quad (\text{Rate} = 68.49 \text{ trips/ksf})$$

with 50% (6,849 vpd) entering and 50% (6,849 vpd) exiting.
34.25 34.25

SATURDAY PEAK HOUR OF GENERATOR

$$\ln T = 0.79 \ln (X) + 2.79$$

$$R^2 = 0.87$$

$$\ln T = 0.79 \ln (200.000) + 2.79$$

119 Studies, Avg size = 416

$$\ln T = 6.98$$

$$T = 1070.27 \quad (\text{Avg Rate} = 4.5 \text{ trips/ksf})$$

$$T = 1,070 \quad \text{vehicle trips} \quad (\text{Rate} = 5.35 \text{ trips/ksf})$$

with 52% (556 vph) entering and 48% (514 vph) exiting.
2.78 2.57

SUNDAY DAILY

$$T = 21.10 * (X)$$

$$R^2 = \text{Not Given}$$

$$T = 21.10 * (200.000)$$

30 Studies, Avg size = 509

$$T = 4,220.00 \quad (\text{Avg Rate} = 21.20 \text{ trips/ksf})$$

$$T = 4,220 \quad \text{vehicle trips} \quad (\text{Rate} = 21.1 \text{ trips/ksf})$$

with 50% (2,110 vpd) entering and 50% (2,110 vpd) exiting.
10.55 10.55

SUNDAY PEAK HOUR OF GENERATOR

$$T = 2.79 * (X)$$

$$R^2 = \text{Not Given}$$

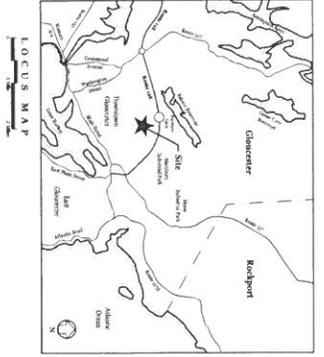
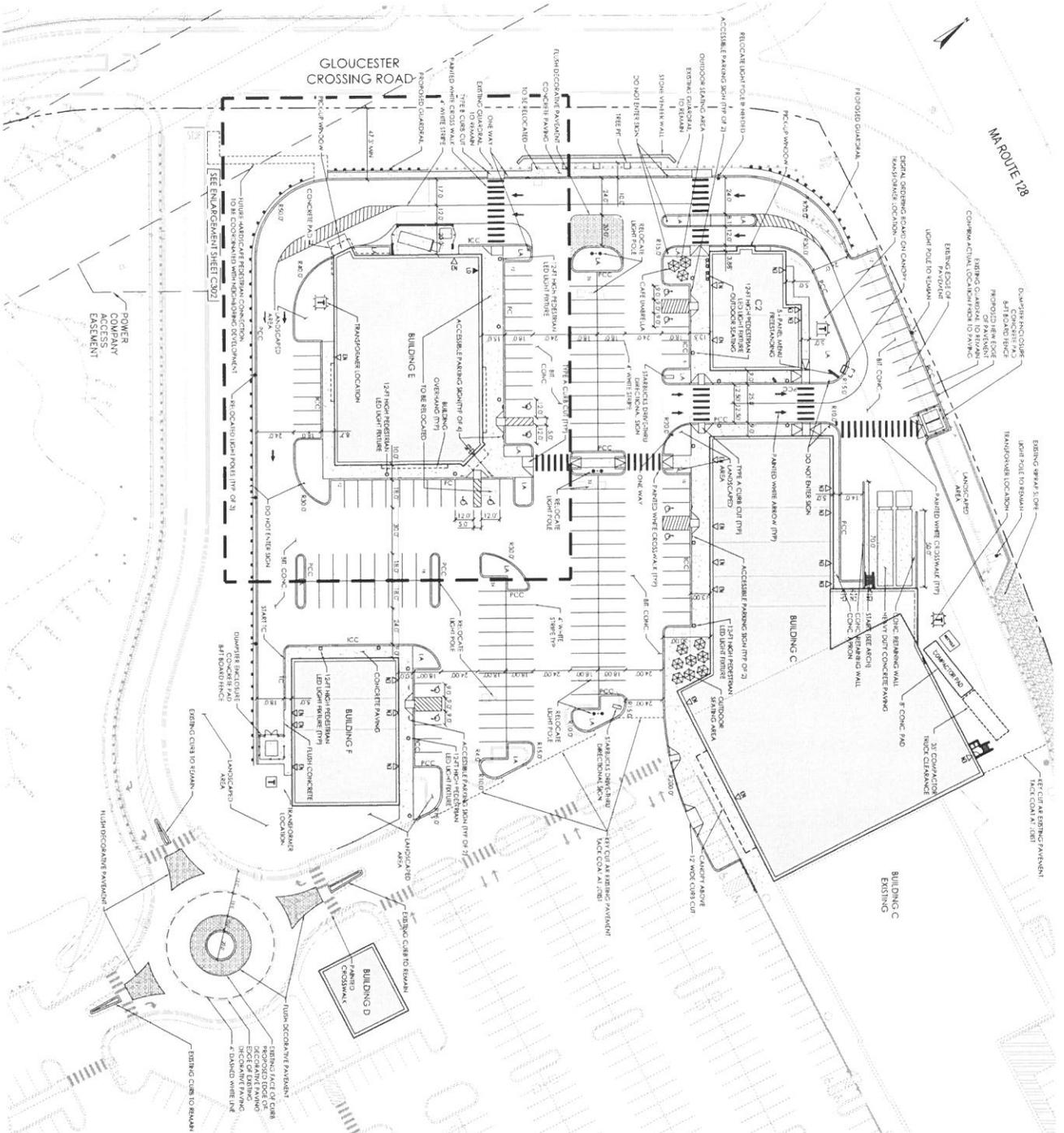
$$T = 2.79 * (200.000)$$

39 Studies, Avg sf of GFA = 369

$$T = 558.00 \quad (\text{Avg Rate} = 2.79 \text{ trips/ksf})$$

$$T = 558 \quad \text{vehicle trips} \quad (\text{Rate} = 3.12 \text{ trips/ksf})$$

with 49% (273 vph) entering and 51% (285 vph) exiting.
1.37 1.42



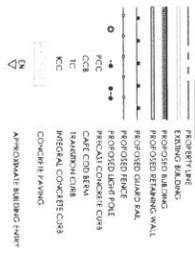
GENERAL NOTES

1. EXISTING CONCRETE BASED ON RECORD DRAWING FRAME.
2. REFER TO THE STATE OF MASSACHUSETTS FOR THE PROJECT APPROVED PERMITS AND THE COMMERCIAL CODE REGULATIONS AND PROVISIONS WHICH APPLY TO THE PROJECT. ALL PERMITS, FEES AND REGULATIONS SHALL BE OBTAINED BY THE CONTRACTOR.
3. THE LOCATION OF EXISTING UTILITIES AND OTHER SERVICES SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

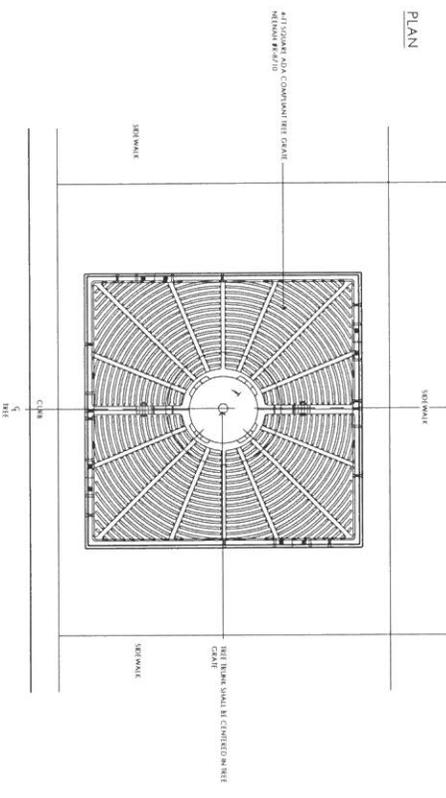
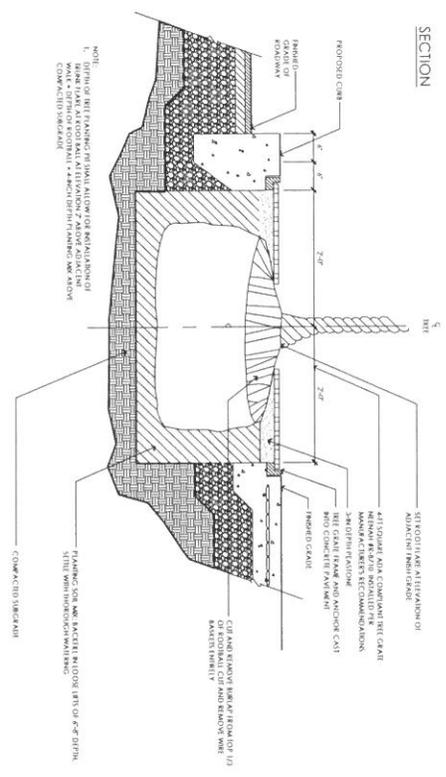
LAYOUT AND MATERIAL NOTES

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

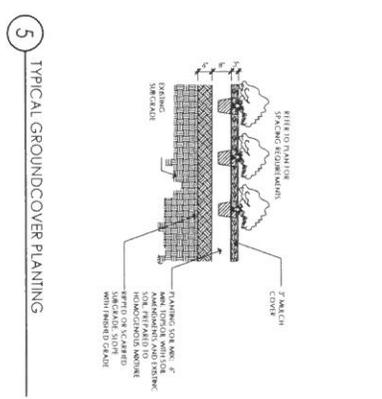
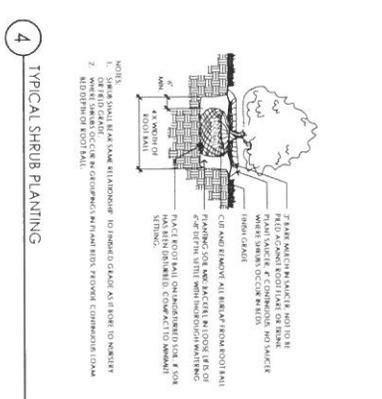
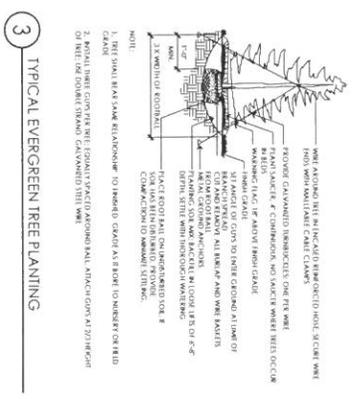
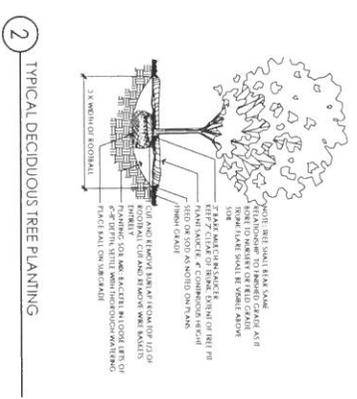
LEGEND



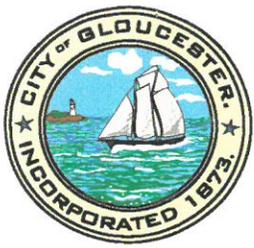
<p>C101</p>	<p>ISSUED FOR SPECIAL PERMIT OCTOBER 1, 2018</p>	<p>PROJECT: GLoucester Crossing Phase 2 ROUTE 128 GLOUCESTER, MA</p>	<p>CONSULTANT: LANDSTRATEGIES 100 STATE STREET, SUITE 200 ROCKPORT, MA 01966 TEL: 978.686.1111 WWW.LANDSTRATEGIES.COM</p>
	<p>LAYOUT AND MATERIALS PLAN</p>	<p>CLIENT / APPLICANT: GLOUCESTER COMMONS, LLC 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048</p>	<p>DATE: 11-20-18 DRAWN: 11-20-18 CHECKED: 11-20-18 SHEET NO: 1/1</p>



1 TREE PIT DETAIL



PLANT SCHEDULE									
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SITE	ROOT	REMARKS			
1	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
2	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
3	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
4	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
5	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
6	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
7	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
8	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
9	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
10	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
11	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
12	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
13	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
14	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
15	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
16	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
17	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
18	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
19	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
20	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
21	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
22	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
23	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
24	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
25	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
26	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
27	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
28	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
29	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
30	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
31	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
32	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
33	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
34	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
35	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
36	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
37	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
38	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
39	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
40	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
41	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
42	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
43	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
44	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
45	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			
46	1	PLANTING SOIL	PLANTING SOIL	1'-0"	1'-0"	PLANTING SOIL			
47	1	CONCRETE SINKER	CONCRETE SINKER	1'-0"	1'-0"	CONCRETE SINKER			
48	1	GRAVEL	GRAVEL	1'-0"	1'-0"	GRAVEL			
49	1	FINISH GRADE	FINISH GRADE	1'-0"	1'-0"	FINISH GRADE			
50	1	ROOT BALL	ROOT BALL	1'-0"	1'-0"	ROOT BALL			



CITY OF GLOUCESTER
GLOUCESTER, MASSACHUSETTS 01930
CITY CLERK
GLOUCESTER, MA

CITY OF GLOUCESTER
Special Council Permit - Application
OCT 16 PM 1:42

RECEIVED
OCT - 2 2018
COMMUNITY DEVELOPMENT
CITY OF GLOUCESTER

December 20, 2018

(Public hearing to be held no later than
above date)

In conformance with the requirements of the Zoning Ordinance of the City of Gloucester, the undersigned hereby applies for a Special Council Permit (CC or CCS) in accordance with Section 1.8.3 of the Ordinance and other Sections as listed below:

Type of Permit (Give specific section of Zoning Ordinance)
Special Council Permit under Section 1.5.3(g) for a Drive Through Facility (Section 5.17)

Applicant's Name: Sam Park & Company, LLC, Samuel Park, Manager

Owner's
Name: Gloucester Commons, LLC, Samuel Park, Manager

(if different from applicant)

Location: 1 and 7 Gloucester Crossing Road Map #262 Lot #13 and 37
(Street Address)

Zoning Classification: Extensive Business

- Attached is a list of owners (with complete addresses) of land directly opposite on any public or private street or way, direct abutters, and abutters to the abutters of land within three hundred (300) feet of the property line, as they appear on the most recent City of Gloucester Assessor's Maps and Tax list.
- Attached is a listing of criteria set forth in Section 1.8.3 of the Zoning Ordinance, including any supportive material or comments the applicant may wish to include (i.e. ZBA decisions, Order of Conditions, etc.) if necessary.
- Attached are the necessary plans as set forth in Section 1.5.3, of the Zoning Ordinance, which at a minimum consist of an accurate plot plan (to scale) showing existing and/or proposed building or structures.

City of Gloucester - Action	
Fees:	<u>\$ 350.00</u>
City Clerk (received):	<u>10/16/18</u>
City Council (received):	<u>10/23/18</u>
Public Hearing (ordered):	_____
Public Hearing (opened):	_____
Public Hearing (closed):	_____
Final Decision:	_____
Disposition	_____
(Approved, Denied, Approved w/conditions)	

APPLICANT:

Name (Signature)

333 School Street, #200 Mansfield, MA 0
Address
617-742-5589
Telephone

Certified for completeness:
Building Inspector: [Signature] Date: 10/4/18
Planning Director: [Signature] Date: 10/4/18

Section 1.8.3 (Use additional sheets, if necessary)

1. Social, Economic, or community need served by the proposal:

Please see Supplemental Sheet 1

2. Traffic flow and safety:

Please see Supplemental Sheet 1

3. Adequacy of utilities and other public services:

Please see Supplemental Sheet 1

4. Neighborhood character and social structure:

Please see Supplemental Sheet 1

5. Qualities of the natural environment:

Please see Supplemental Sheet 1

6. Potential fiscal impact:

Please see Supplemental Sheet 1

The applicant is advised that City staff is available to assist the applicant in preparing the Application, including the Inspector of Buildings and City Planner

Supplemental Sheet 1 to Application
Coffee Shop Drive Through Facility

The Applicant believes that the proposed Drive Through Facility will be in harmony with the intent and purpose of the Zoning Ordinance as the proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the City. The Applicant bases that statement on a careful analysis of the six criteria that the Council shall consider in granting a Special Permit under Section 1.8.3:

1. **Social, economic, or community needs** are served by the proposal as the drive through retail will be compatible with other commercial uses in the shopping center and neighboring Fuller School development. Gloucester Crossing is fulfilling its proposed use of providing additional opportunities for retail, services, restaurant, and employment. Research indicates the demand for drive through services by drivers with children in the car, disabled drivers, and commuters. For Gloucester Crossing to be a full service shopping center, there is a need for a coffee shop/food use as well as pharmacy, bank, or other retail drive through services.
2. **Traffic flow and safety** are adequately addressed as the drive through design complies with the requirements under Section 5.17.5. The initially approved Gloucester Crossing Special Permits included a drive through special permit for a bank. A Traffic Impact Study was prepared at that time indicating compliance with traffic flow and safety issues. The approved drive through facility was later removed in a configuration/modification of the Center in 2010. Now with the removal of the hotel, the overall traffic generation of the project will decrease from originally anticipated levels. A traffic study specific to the proposed drive through by a registered professional engineer as required under Section 5.17.5(a) accompanies this application and indicates no adverse impact with the proposed retail drive through facility. All access drives, stacking lanes and drive through facility are completely located within the retail center.
3. Municipal **utilities** are determined to be adequate as the proposed drive through facility is consistent with the original utility design approvals. The project had been master planned to include future construction and all necessary infrastructure is in place.

4. The **neighborhood character and social structure** are appropriate for this drive through use as all aspects of the drive through will be located within the existing shopping center. Architecture has been designed to be consistent with the established materials and design. No impact is anticipated on the neighborhood character or its social structure.
5. The **natural environment** will be improved by the buildout of Phase 2 of the Gloucester Crossing shopping center by eliminating a large as yet unbuilt area. Expansion and improvement are ongoing. All mitigation for the shopping center was implemented during the initial construction, upgrading a swath of degraded resource area, providing landscaped islands, wide landscaped property line buffer areas, and significantly improved drainage patterns.
6. The **potential fiscal impact** is positive as the substantial investment in the initial Phase of development has provided employment, higher tax assessment, and customer satisfaction. Those impacts will increase through the development of Phase 2 of the shopping center.

Application for Special Permit

The undersigned applicant hereby applies for a special permit under M.G.L., Ch. 40A, § 9 as follows.

1. Applicant (includes equitable owner or purchaser on a purchase and sales agreement):

Name: Sam Park & Company, LLC

Address: 333 School Street #200 Mansfield, MA 02048

Tel.# Days 617-742-5589 Evenings _____

_____ Check here if you are the purchaser on a purchase and sales agreement.

2. Owner, if other than applicant:

Name: Gloucester Commons, LLC

Address: 333 School Street #200 Mansfield, MA 02048

Tel.# Days 617-742-5589 Evenings _____

3. Property:

Street address: 1 and 7 Gloucester Crossing Road

Assessor's Map: 262 Lot: 13 and 37

Registry of Deeds where deed, plan, or both records:

Essex South

Deed recording: Book Registered Page 80200 Cert.

Plan recording: Plan # 26398-A

Property is located in the Extensive Business zoning district.

4. Nature of relief requested:

Special permit pursuant to Article/Section 5.17 of the Zoning Ordinance/By-Law

which authorizes the Gloucester City Council to permit
a drive through facility

Detailed explanation of request:

The applicant proposes a drive through facility at Building C-2. This drive through facility has been designed to service primarily a fast food cafe/coffee shop facility but can also service a retail/bank drive through facility. A coffee shop has been a consistent request by shoppers and commuters and this application hopes to satisfy that demand. If such demand abates and a coffee shop does not prove feasible, the applicant intends to use the drive through for other retail/bank/service uses.

5. Evidence to support grant of special permit:

Because of reasons set forth below, the special permit requested will be in harmony with the intent and purpose of the Zoning Ordinance/By-Law:

One purpose of the Ordinance as stated in Section 1.2 is to promote and enhance the health, safety, convenience, quality of life and welfare of the residents of the City. The drive through facility has been designed to ensure the safety of drivers, pedestrians, and other Gloucester Crossing visitors. In addition, it provides the convenience that people desire for ordering and picking up coffee shop food and drink, or in the alternative other drive through non-food uses.

Because of reasons set forth below, the special permit requested will meet the additional requirements of the Zoning Ordinance/By-Law as follows:

There are specific performance standards that are required for a special permit for a drive through facility. These are described in Supplemental Sheet 2 for review.

If someone other than owner or equitable owner (purchaser on a purchase and sales agreement) is the Applicant or will represent the Applicant, owner or equitable owner, must designate such representative below.

Name of Representative: Michele Holovak Harrison

Address of Representative: 27 Sayward Street, Gloucester, MA 01930

Tel. # Days 508-284-4499 Evenings

Relationship of representative to owner or equitable owner:

Special Permit Project Manager for Sam Park & Company/Gloucester Crossing

Supplemental Sheet 2

In addition to the Standards under Gloucester Zoning Ordinance section 1.8.3 outlined on Supplemental Sheet 1, Section 5.17.5 cites certain performance standards for a drive through facility. They are:

- a. Traffic – The traffic impact study update indicates that with the removal of the traffic associated with the large hotel the overall traffic generation for the shopping center will decrease and have no negative impact on traffic at Gloucester Crossing.
- b. Site Plan – the site plan submitted with this application in addition to the requirement information indicates that any points of traffic conflict are minimized.
- c. Site Access – the proposed use is entirely within the approved Gloucester Crossing shopping center site with no separate access.
- d. Stacking Lanes – attention has been given so that all requirements under this section are met as to size and number of each stacking space and appropriate layout such that there are no impediments to other aspects of the shopping center. The facility has been designed for a fast food café/coffee shop facility but can also service a retail/bank/service drive through facility. See Site Plan.
- e. Layout of Outdoor Service Equipment – Signs will be no larger than the approved maximum, other details under this section are shown on the Site Plan and attachment with details for each sign panel.
- f. Lighting – There is no flood lighting and all proposed lighting meets the standards of Section 5.17.5(f). Light fixtures are shown on the drawings. Lighting will be consistent with existing lighting at Gloucester Crossing.
- g. Landscaping – Landscaping will be consistent with the design and upkeep now at Gloucester Crossing and is shown on the site plan.
- h. Operation and Security – The proposed drive-through use is part of the overall shopping center and will be supervised by a full time property management company. The management company is

responsible for the overall security of the property and addresses the issue by use of cameras in certain areas, and periodic site inspections during operating hours by its personnel. As with other tenants in the center, the tenant will be responsible for maintaining any trash receptacles specific to their use, and the sidewalk directly in front of their space. The owner, through the property management company, maintains the common areas of the center. Hours of operation for the coffee shop are expected to be 4:30am – 9pm.

Michele Holovak Harrison

I hereby authorize _____ to represent my interests before the
Special Permit Granting Authority with respect to this Special Permit Application.

(Signed by owner/equitable owner)

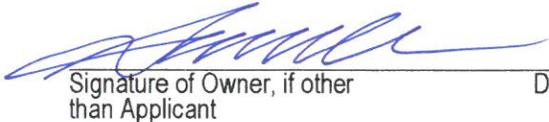


I hereby certify under the pains and penalties of perjury that the information contained in this
Application is true and complete.



Signature of Applicant

Date



Signature of Owner, if other
than Applicant

Date

Signature of Equitable Owner
who is filing application to
satisfy condition of
Purchase and Sales agreement

Date



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
31-18 GLOUCESTER CITY OF	18A BECKFORD ST	31-18	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
46-52 AMERO DOUGLAS F & DEBORAH J	79 PERKINS ST	46-52	AMERO DOUGLAS F & DEBORAH J 79 PERKINS ST GLOUCESTER, MA 01930
46-30 RUNNELLS ERNEST P & JEAN LYNN	80 PERKINS ST	46-30	RUNNELLS ERNEST P & JEAN LYNN 80 PERKINS ST GLOUCESTER, MA 01930
46-31 OLIVEIRA MARK D & ANN MARIE	82 PERKINS ST	46-31	OLIVEIRA MARK D & ANN MARIE 82 PERKINS ST GLOUCESTER, MA 01930
46-32 CANTY TIMOTHY J & LORINDA L	84 PERKINS ST	46-32	CANTY TIMOTHY J & LORINDA L 84 PERKINS ST GLOUCESTER, MA 01930
262-9 PERRUZZI RICHARD TR PERRUZZI NOMINEE TRUST OF 2006	10 SADLER STREET EX	262-9	PERRUZZI RICHARD TR PERRUZZI NOMINEE TRUST OF 2006 320 WESTERN AV GLOUCESTER, MA 01930
262-14 GLOUCESTER CITY OF	4 SCHOOL HOUSE RD	262-14	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
262-36 GLOUCESTER CITY OF	7 SCHOOL HOUSE RD	262-36	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-17 GLOUCESTER CITY OF	15R DODGE ST	31-17	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-16 PSZENNY NICOLAS CHARLES	27 DODGE ST	31-16	PSZENNY NICOLAS CHARLES 27 DODGE ST GLOUCESTER, MA 01930-2903



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
28-29 OLIVER RAPHAEL & DEBORAH TBYE	30 DODGE ST	28-29	OLIVER RAPHAEL & DEBORAH TBYE 30 DODGE ST GLOUCESTER, MA 01930
262-13 GLOUCESTER COMMONS LLC C/O DSM REALTY	1 GLOUCESTER CROSSING	262-13	GLOUCESTER COMMONS LLC C/O DSM REALTY 875 EAST STREET TEWKSBURY, MA 01876
262-37 GLOUCESTER COMMONS LLC C/O DSM REALTY	7 GLOUCESTER CROSSING RD	262-37	GLOUCESTER COMMONS LLC C/O DSM REALTY 875 EAST ST TEWKSBURY, MA 01876
31-19 GLOUCESTER CITY OF	6 GREEN ST	31-19	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-20 GLOUCESTER CITY OF	10 GREEN ST	31-20	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
46-14 SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR	14A GREEN ST	46-14	SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR 14 GREEN ST GLOUCESTER, MA 01930
46-15 SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR	14 GREEN ST	46-15	SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR 14 GREEN ST GLOUCESTER, MA 01930
46-13 QUINN DAVID G & MARY BETH	16 GREEN ST	46-13	QUINN DAVID G & MARY BETH 16 GREEN ST GLOUCESTER, MA 01930
46-12 CHURCHILL GAIL M	20 GREEN ST	46-12	CHURCHILL GAIL M 20 GREEN ST GLOUCESTER, MA 01930
46-11 CONSIGLIO PHILIP & GAIL P	22 GREEN ST	46-11	CONSIGLIO PHILIP & GAIL P 22 GREEN ST GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
46-9 LINQUATA LILLIAN R & DAVID M	26 GREEN ST	46-9	LINQUATA LILLIAN R & DAVID M 26 GREEN ST GLOUCESTER, MA 01930
46-8 KERN CLAYTON S & JENNIFER R	28 GREEN ST	46-8	KERN CLAYTON S & JENNIFER R 28 GREEN ST GLOUCESTER, MA 01930
46-7 CROFT WILLIAM L CROFT DOROTHY	30 GREEN ST	46-7	CROFT WILLIAM L CROFT DOROTHY 30 GREEN ST GLOUCESTER, MA 01930
46-6 DAVIS CHRISTOPHER W & MIMI V	32 GREEN ST	46-6	DAVIS CHRISTOPHER W & MIMI V 32 GREEN ST GLOUCESTER, MA 01930
46-5 MASON CARLO J & SHARON A	34 GREEN ST	46-5	MASON CARLO J & SHARON A 34 GREEN ST GLOUCESTER, MA 01930
46-36-995 35-37 GREEN ST TH CONDO TRUST C/O PARTINGTON DEREK & LISA	35 GREEN ST 995	46-36	35-37 GREEN ST TH CONDO TRUST C/O PARTINGTON DEREK & LISA 37 GREEN ST UNIT 1 GLOUCESTER, MA 01930
46-36-2 CROWLEY THOMAS P	35 GREEN ST 2	46-36	CROWLEY THOMAS P 35 GREEN ST UNIT 2 GLOUCESTER, MA 01930
46-36-1 MORIARTY GINA C	37 GREEN ST 1	46-36	MORIARTY GINA C 37 GREEN ST UNIT 1 GLOUCESTER, MA 01930
46-4 RUTKAUSKAS JASON A & KRISTIN H	38 GREEN ST	46-4	RUTKAUSKAS JASON A & KRISTIN H 38 GREEN ST GLOUCESTER, MA 01930
46-3 SMITH DAVID B TBYE & CAROLE AN	40 GREEN ST	46-3	SMITH DAVID B TBYE & CAROLE AN 40 GREEN ST GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
46-33 MURRAY DAVID P & MICHELE A TE	41 GREEN ST	46-33	MURRAY DAVID P & MICHELE A TE 41 GREEN ST GLOUCESTER, MA 01930
46-2 ALLEN COLLEEN M & FOOTE JARED M	42 GREEN ST	46-2	ALLEN COLLEEN M & FOOTE JARED M 42 GREEN ST GLOUCESTER, MA 01930
262-15 OLSON GUSTAVE JR & SANDRA TRS ET AL OLSON ESSEX COUNTY REALTY TRUST	41 TRASK ST	262-15	OLSON GUSTAVE JR & SANDRA TRS ET AL OLSON ESSEX COUNTY REALTY TRUST 1 MALLARD WY GLOUCESTER, MA 01930
262-5 GLOUCESTER CITY OF	43 WEBSTER ST	262-5	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
262-7 BARRY SCOTT A BARRY MARGO E TB	1 PERKINS PK	262-7	BARRY SCOTT A BARRY MARGO E TB 1 PERKINS PK GLOUCESTER, MA 01930
262-28 CURLEY SCOTT C SR & JOANN	4 PERKINS PK	262-28	CURLEY SCOTT C SR & JOANN 4 PERKINS PK GLOUCESTER, MA 01930
262-30 MCCARTHY MICHAEL J & DEBRA TE	5 PERKINS PK	262-30	MCCARTHY MICHAEL J & DEBRA TE 5 PERKINS PK GLOUCESTER, MA 01930
262-29 COBLE ROSEANNE & JAMES	6 PERKINS PK	262-29	COBLE ROSEANNE & JAMES 6 PERKINS PK GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

Abutters to Parcel: Map-Lot-Unit 262-13

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER

STREET ADDRESS

PARCEL NO.

TAX BILL ADDRESS

The Gloucester Board of Assessors certifies that the Abutters Report program written to create a list of the names and addresses of property owners from the applicable tax list has been reviewed. To the best of our knowledge and belief the Abutters Report program generates an accurate list from the most recent tax list of the assessed owner of record and the mailing information of the parties in interest as defined within and required by the law and therefore the within document constitutes a certified abutters list.

Nancy A. Papows, MAA
Gary I. Johnstone, MAA
Bethann Brousseau, MAA
GLOUCESTER BOARD OF ASSESSORS

City of Gloucester Assessors' Office, City Hall, 9 Dale Avenue, Gloucester, MA 01930

9/13/2018



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

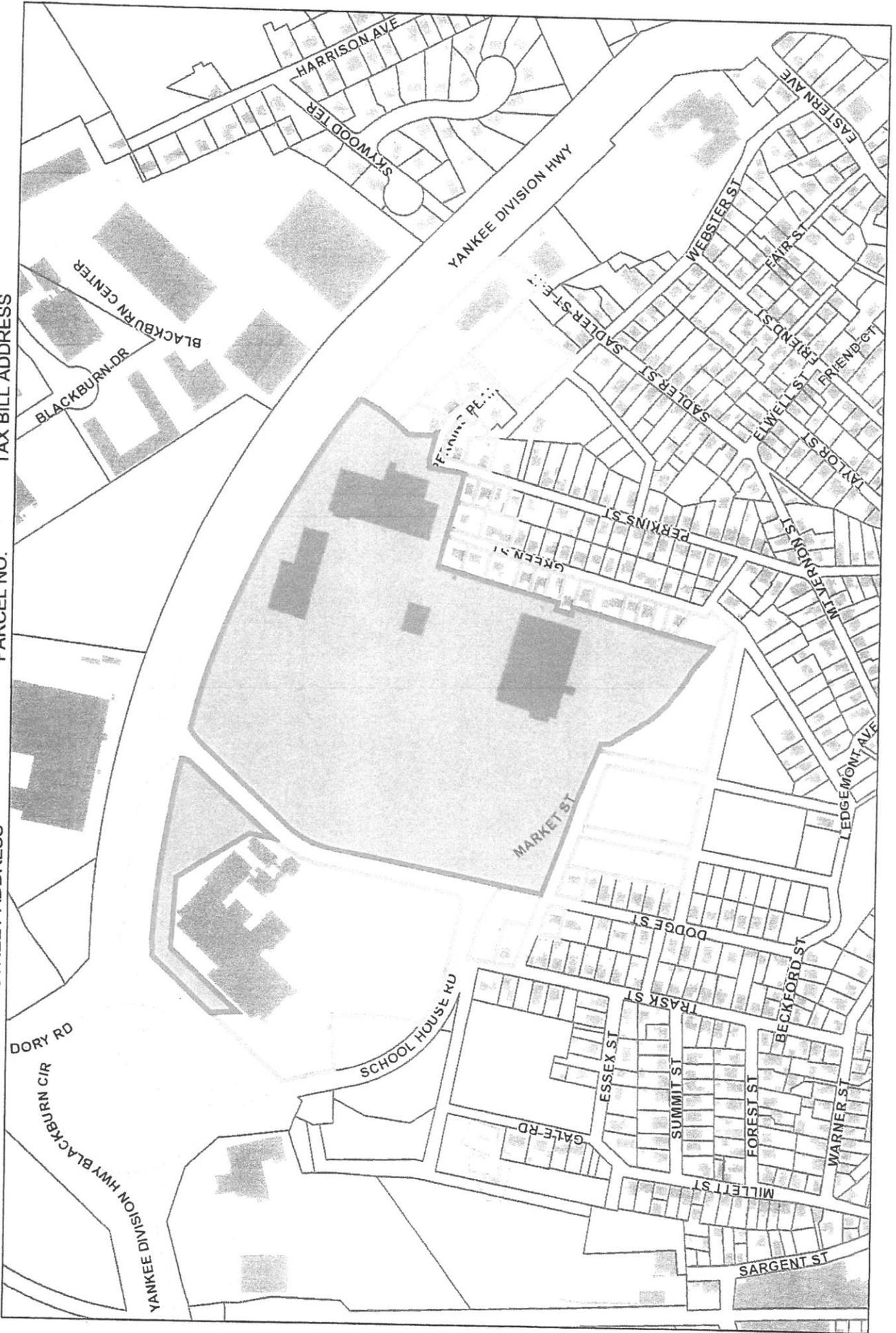
This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

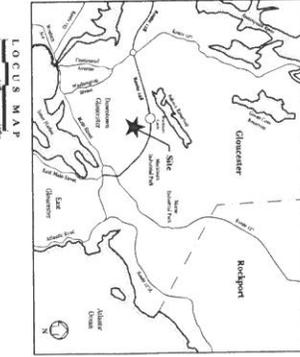
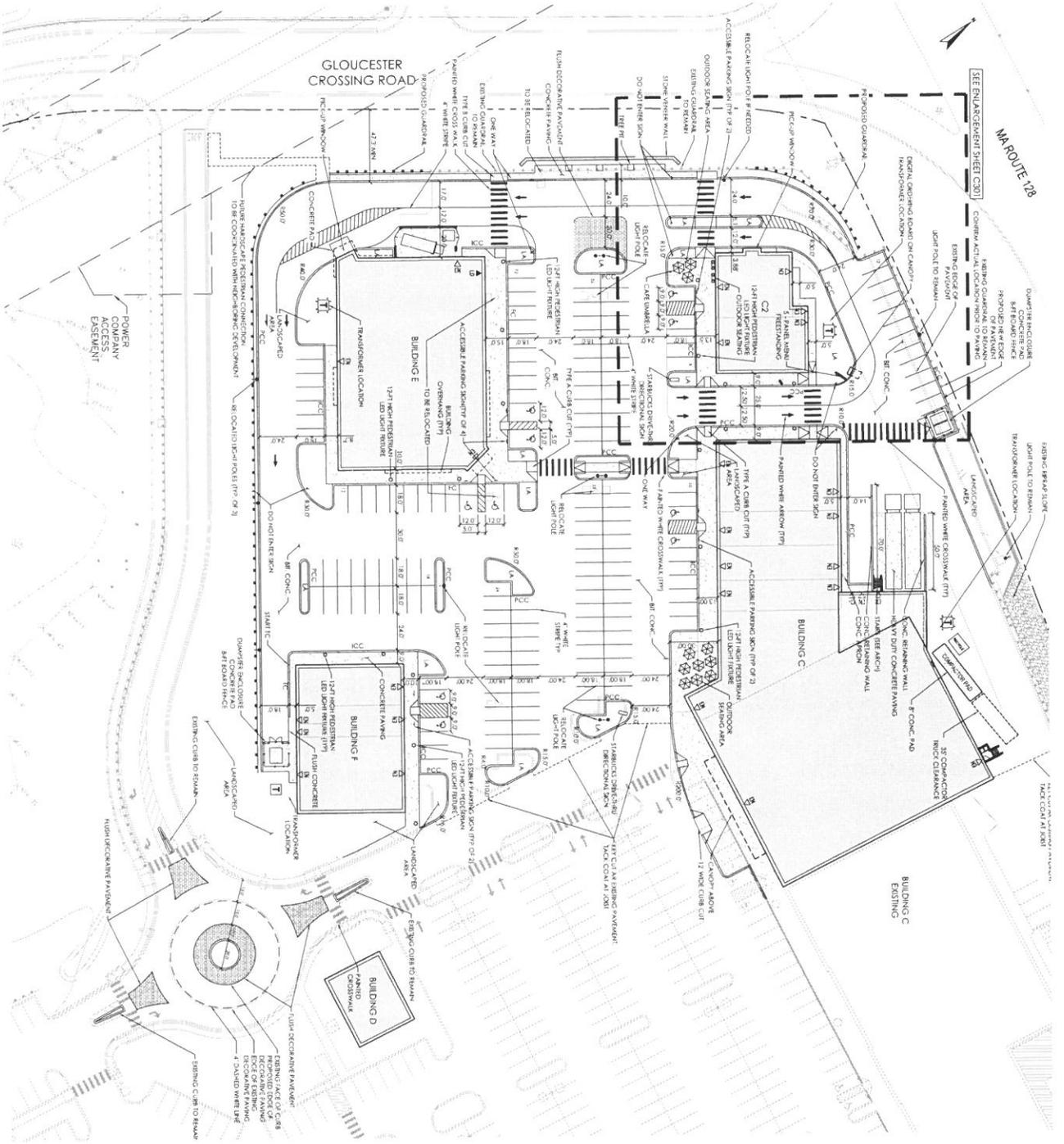
ABUTTER

STREET ADDRESS

PARCEL NO.

TAX BILL ADDRESS





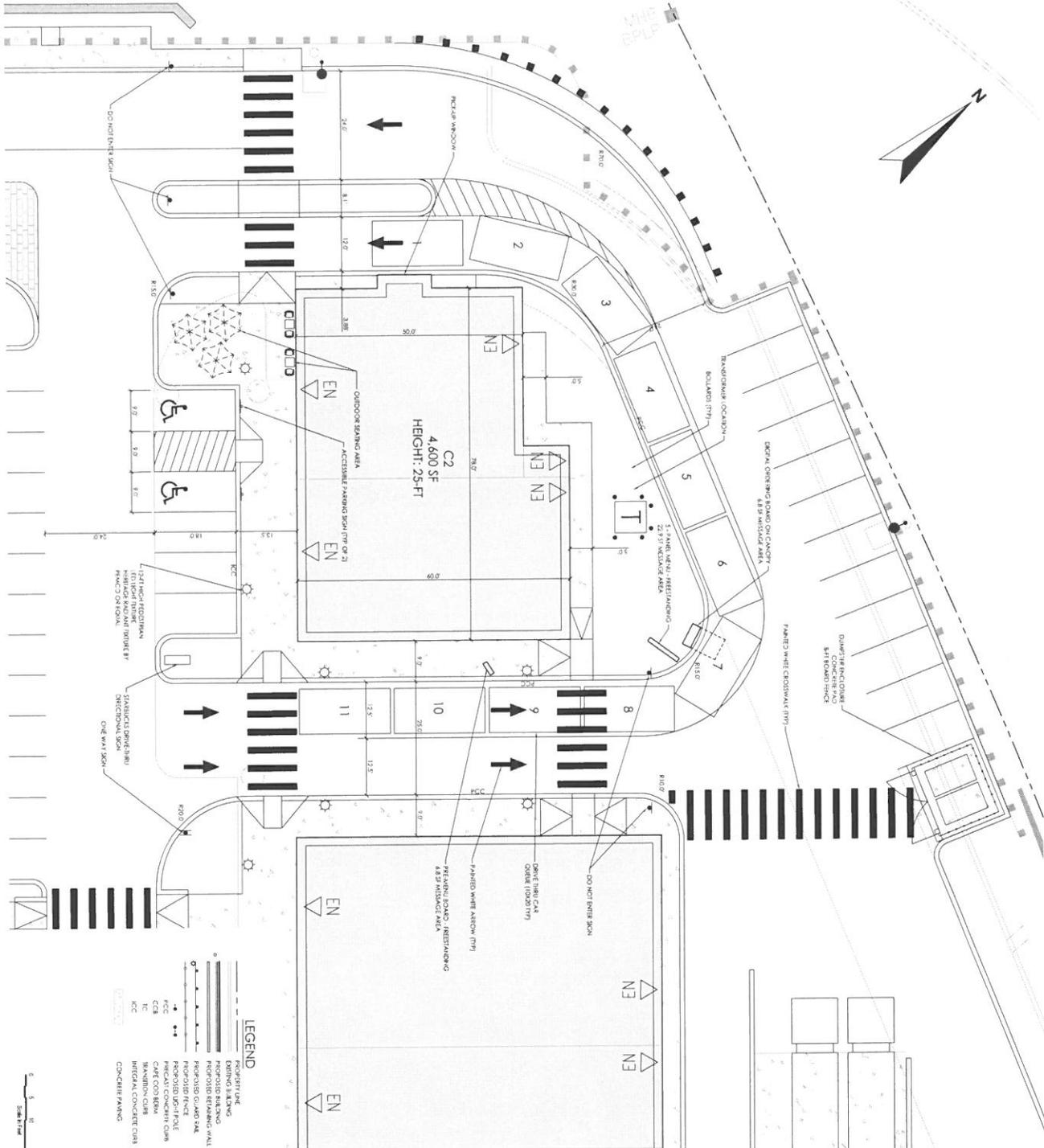
GENERAL NOTES

1. REFER TO THE LATEST OF ANY SUPPLEMENTAL SHEETS FOR THE MOST CURRENT CHANGES TO THIS PLAN. ANY CHANGES SHALL BE SHOWN ON THE LATEST SHEET WITH THE DATE OF THE CHANGE.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL MATERIALS SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE SPECIFICATIONS AND SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.

LAYOUT AND MATERIAL NOTES

1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH WITH 4% STEEL FIBERS.
2. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
4. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
5. ALL CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES.

<p>ISSUED FOR SPECIAL PERMIT OCTOBER 1, 2018</p> <p>LAYOUT AND MATERIALS PLAN</p> <p>C101</p>	<p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 12-20-18</p> <p>DESIGNED BY: [Name]</p> <p>CHECKED BY: [Name]</p> <p>PROJECT NO.: [Number]</p> <p>TITLE: [Title]</p>	<p>PROJECT: GLoucester Crossing Phase 2 ROUTE 128 GLOUCESTER, MA</p> <p>CLIENT APPLICANT: GLoucester Commons, LLC 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048</p>	<p>CONSULTANT: LANDSTRATEGIES A SERVICE OF LAND AND CONSTRUCTION</p>
	<p>SEAL: [Professional Seal]</p>	<p>REV: [Revision Table]</p>	

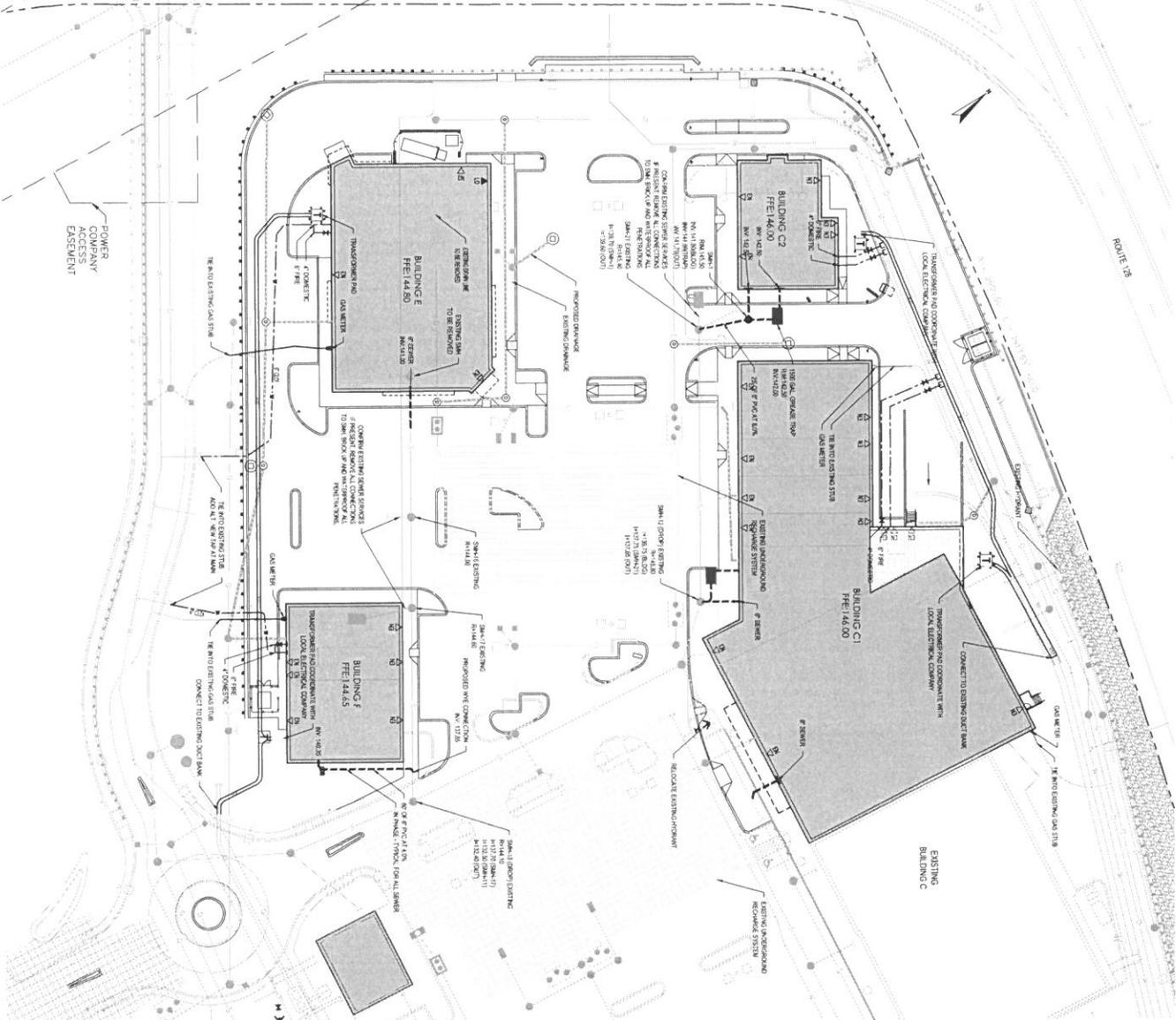


LEGEND

	PROPERTY LINE
	PROPOSED RAISING
	PROPOSED RETAINING WALL
	PROPOSED GUARD RAIL
	PROPOSED DRIVE LANE
	PROPOSED DRIVE LANE
	CAFE COUNTER
	BREAKROOM COUNTER
	MEDICAL CONCRETE CORE
	CONCRETE PAVING

<p>C-102</p>	<p>ISSUED FOR SPECIAL PERMIT OCTOBER 1, 2018</p>	<p>SEAL:</p>	<p>REV:</p>	<p>PROJECT:</p> <p>GLOUCESTER CROSSING PHASE 2 ROUTE 128 GLOUCESTER, MA</p>	<p>CONSULTANT:</p> <p>LANDSTRATEGIES A NEW WAY TO LOOK AT LAND DEVELOPMENT</p>
	<p>DRIVE THRU COFFEE SHOP ENLARGEMENT PLAN</p>	<p>CLIENT/APPLICANT:</p> <p>GLOUCESTER COMMONS, LLC 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048</p>	<p>DATE: 11-02-18</p> <p>DRAWN BY: J. O'CONNELL</p> <p>CHECKED BY: J. O'CONNELL</p> <p>SCALE: 1/4" = 1'-0"</p>		<p>PROJECT NO: 18-002</p> <p>SHEET NO: 1/1</p>

GLOUCESTER CROSSING RD



GRADING AND UTILITY NOTES

1. EXISTING CONDITIONS BASED ON RECORD DRAWINGS.
2. REFER TO THE STATE OF MASSACHUSETTS RECORD DRAWING FOR THE PROJECT FOR THE LOCATION OF ALL EXISTING UTILITIES AND MARKED.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE ONLY AND HAVE NOT BEEN REVERIFIED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DURING THE CONSTRUCTION OF THIS PROJECT AND PROVIDE ALL NECESSARY PROTECTION.
4. CONSTRUCTION SHALL PROCEED WITH CARE AND PRECAUTION TO AVOID DAMAGE TO EXISTING UTILITIES. THE ENGINEER SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
5. ALL WORK CONDUCTED UNDER THESE SPECIFICATIONS SHALL COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE MUNICIPAL, STATE AND FEDERAL AGENCIES AND DEPARTMENTS OF PUBLIC WORKS.
6. EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED AND REMOVED OR RELOCATED AS REQUIRED.
7. EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED AND REMOVED OR RELOCATED AS REQUIRED.
8. CONSTRUCTION SHALL PROCEED WITH CARE AND PRECAUTION TO AVOID DAMAGE TO EXISTING UTILITIES.
9. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, DEPTH AND USE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY IN THE CONSTRUCTION OF THE PROJECT.
10. THE CONTRACTOR SHALL ALTER THE LOCATION OF ALL EXISTING UTILITIES TO AVOID CONFLICT WITH THE PROPOSED WORK.
11. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND ADJUSTMENT OF ALL EXISTING UTILITIES SHALL BE ACCURATELY DETERMINED BY THE OWNER AND ENGINEER.
12. CONSTRUCTION SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND ADJUSTMENT OF ALL EXISTING UTILITIES SHALL BE ACCURATELY DETERMINED BY THE OWNER AND ENGINEER.
13. ALL UTILITIES SHALL BE PROTECTED AND REMOVED OR RELOCATED AS REQUIRED.
14. REFER TO THE RECORD DRAWINGS FOR THE LOCATION OF ALL EXISTING UTILITIES.
15. REFER TO THE RECORD DRAWINGS FOR THE LOCATION OF ALL EXISTING UTILITIES.
16. REFER TO THE RECORD DRAWINGS FOR THE LOCATION OF ALL EXISTING UTILITIES.
17. REFER TO THE RECORD DRAWINGS FOR THE LOCATION OF ALL EXISTING UTILITIES.
18. REFER TO THE RECORD DRAWINGS FOR THE LOCATION OF ALL EXISTING UTILITIES.
19. ALL CHANGES TO EXISTING UTILITIES SHALL BE APPROVED BY THE OWNER AND ENGINEER.
20. REFER TO THE RECORD DRAWINGS FOR THE LOCATION OF ALL EXISTING UTILITIES.
21. REFER TO THE RECORD DRAWINGS FOR THE LOCATION OF ALL EXISTING UTILITIES.
22. REFER TO THE RECORD DRAWINGS FOR THE LOCATION OF ALL EXISTING UTILITIES.



ISSUED FOR SPECIAL PERMIT
OCTOBER 1, 2018

UTILITY PLAN

SCALE: 1"=30'

DATE: 10-01-2018

PROJECT: GLOUCESTER CROSSING PHASE 2

CLIENT: GLOUCESTER COMMONS, LLC

333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048

CONSULTANT: LANDSTRATEGIES

PROJECT: GLOUCESTER CROSSING PHASE 2

ROUTE 128 GLOUCESTER, MA

CLIENT / APPLICANT: GLOUCESTER COMMONS, LLC

333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048

CONTRACT NO.:

SHEET NO. C103

DATE: 10-01-2018

PROJECT: GLOUCESTER CROSSING PHASE 2

CLIENT: GLOUCESTER COMMONS, LLC

333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048

SCALE: 1"=30'

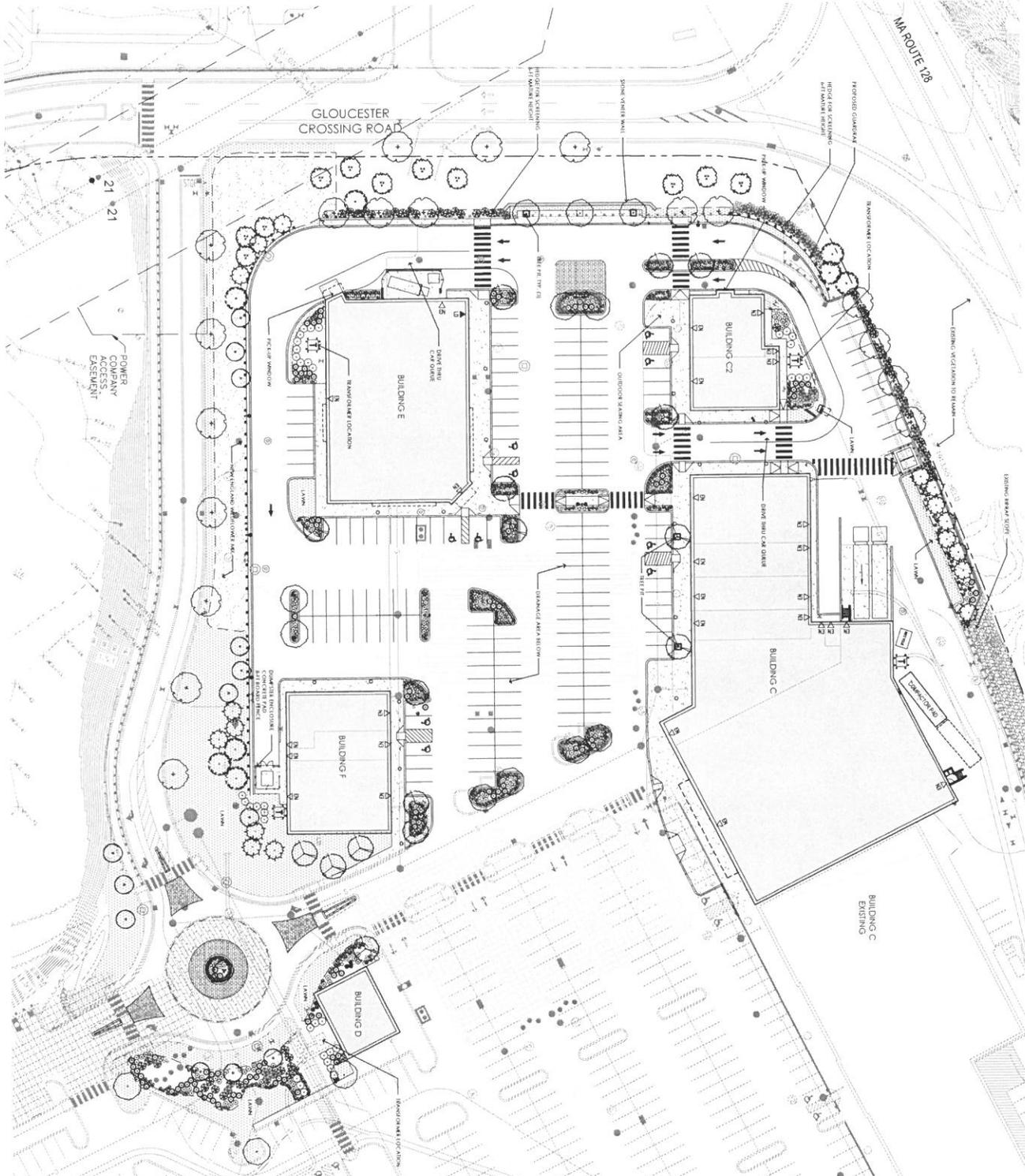
DATE: 10-01-2018

PROJECT: GLOUCESTER CROSSING PHASE 2

CLIENT: GLOUCESTER COMMONS, LLC

333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048

CONSULTANT: LANDSTRATEGIES



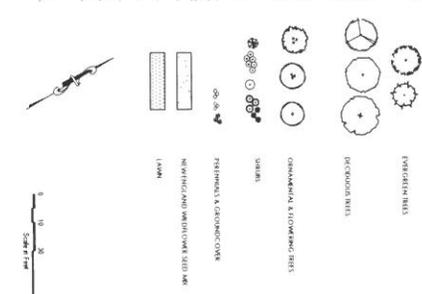
GENERAL NOTES

1. EXISTING CONDITIONS SHOWN ON RECORD DRAWING SHALL BE USED TO THE MAXIMUM EXTENT POSSIBLE TO MAINTAIN THE EXISTING CHARACTER OF THE SITE AND TO PRESERVE THE EXISTING LANDSCAPE. ALL NEW PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
11. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
12. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
13. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
14. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
15. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
16. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

LANDSCAPE NOTES

1. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
11. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
12. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
13. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
14. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
15. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
16. CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

PROPOSED LANDSCAPE LEGEND



	PROJECT: GLoucester Crossing Phase 2 ROUTE 128 GLOUCESTER, MA	
	CLIENT/APPLICANT: GLoucester Commons, LLC 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048	
ISSUED FOR PERMIT REVIEW DATE: OCTOBER 1, 2018	OVERALL LANDSCAPE PLAN	SCALE: 1/8" = 1'-0" DATE: 10/1/2018 DRAWN: [Name] CHECKED: [Name] SHEET NO: L101



MEMORANDUM

TO: Mr. Peter Kutrubes.
Gloucester Commons, LLC

FROM: Kenneth P. Cram, P.E.

CC:

DATE: September 28, 2018

RE: Proposed Gloucester Crossing Site Modifications
Gloucester, MA

This memorandum has been prepared to assess the traffic impact associated with the modification of the existing Gloucester Crossing shopping Center on Route 128 in Gloucester, Massachusetts. This assessment has reviewed the current approved plan and the proposed plan changes, performed an assessment of the expected change in site traffic generation and reviewed the City of Gloucester Zoning Regulations as they affect the two proposed drive-throughs contained within the proposed site modifications. Based on a review of the site modifications and their projected traffic generation, the site modifications will not generate a significant increase in traffic volume.

PROJECT DESCRIPTION

The existing site is located on the south side of Route 128, east of Blackburn Circle and School House Road. Currently, the site is abutted by residences to the east, Route 128 to the north and School House Road to the west. Currently, Gloucester Crossing is approved for approximately 188,400 square feet (sf) of retail space with a 100 room extended stay hotel and an 80 to 100 room assisted-living facility. Access to Gloucester Crossing is provided by a right-turn in/out only driveway to Route 128 and by way of School House Road.

The site modifications include an increase and minor re-configuration of the un-constructed portion of the site in the northwest corner of the site. These modifications include the removal of the hotel and a minor increase in the retail space (approximately 11,600 sf). It is anticipated that the new square footage would include a coffee shop with a drive-through and a retail use with a drive-through (such as a pharmacy or bank). Under the new proposed conditions, access will continue to be provided by the right-turn in/out only driveway to Route 128 and by way of School House Road. Figure 1 shows the site in relation to the roadway network.



**TABLE 1
TRIP-GENERATION SUMMARY COMPARISON**

	Current Approved Plan			Proposed Plan
	Hotel Trips ^a	Retail Trips ^b	Total Trips	Total Proposed Trips ^b
Average Weekday Daily Traffic	442	9,248	9,690	9,632
<i>Weekday Morning Peak Hour:</i>				
Entering	16	153	169	156
<u>Exiting</u>	<u>23</u>	<u>93</u>	<u>116</u>	<u>96</u>
Total	39	246	285	252
<i>Weekday Evening Peak Hour:</i>				
Entering	18	417	435	436
<u>Exiting</u>	<u>14</u>	<u>451</u>	<u>465</u>	<u>472</u>
Total	32	868	900	908
Saturday Daily Traffic	580	13,200	13,780	13,698
<i>Saturday Midday Peak Hour:</i>				
Entering	22	531	553	556
<u>Exiting</u>	<u>24</u>	<u>490</u>	<u>514</u>	<u>514</u>
Total	46	1,021	1,067	1,070

^aBased on LUC 312 – Business Hotel, 100 rooms.

^bBased on LUC 820 – Shopping Center, 188,400 sf.

^cBased on LUC 820 – Shopping Center, 200,000 sf.

On a typical weekday, with the proposed site modifications, Gloucester Crossing is projected to generate approximately 60 fewer daily trips and approximately 80 fewer trips on a Saturday. During the weekday morning peak hour, Gloucester Crossing is projected to generate approximately 30 fewer trips. During the weekday evening peak and Saturday midday peak hours, Gloucester Crossing is projected to generate approximately the same amount of trips with the proposed site modifications.



DRIVE THROUGH OPERATIONS

As indicated previously, there will be two drive-through lanes added for two particular uses. The proposed coffee shop would have one drive-through and the proposed retail use would have the second drive-through.

The potential coffee shop drive-through has been designed to accommodate approximately eleven (11) vehicles in a separate queue. There is a by-pass lane provided, which would allow a vehicle to exit the drive-through lane if they do not want to wait in queue, and bypass the queue and enter the parking field. Based on observations of vehicle queues at other coffee shops, the projected eleven (11) car queue will be more than adequate to handle the expected demand. This queue will not affect operations on either Route 128 or School House Road, as these two roads provide the primary access to the site. Sight lines were reviewed for vehicles exiting the drive-through into the parking field and found to be adequate for safe operation.

The second drive-through was assumed to be for a pharmacy, as pharmacies would represent the land use with the most conservative demand. For a pharmacy, five (5) cars would be provided for in the drive-through lane, which would be more than adequate to handle the demand for a pharmacy. Observations of other pharmacies indicate that generally the maximum queue is two or three vehicles. As five (5) vehicles are provided for, and a bypass lane also exists, the five (5) car queue length provided would be adequate to serve a pharmacy. Again, the queue for a pharmacy would not affect operations on either Route 128 or School House Road, as these two roads provide the primary access to the overall site. Sight lines were also reviewed for vehicles exiting the drive-through. For this drive-through, safe operation is expected as all traffic must turn left out of the drive through, into one-way flow behind the building into the parking field.

The City of Gloucester Zoning Ordinance was reviewed relative to drive-through lanes (Section 5.17). The proposed drive-through lanes meet the requirements identified for stacking in terms of length, width and delineation. A by-pass lane is provided for both drive-through lanes.

CONCLUSION

On a typical weekday, with the proposed site modifications, Gloucester Crossing is projected to generate approximately 60 fewer daily trips and approximately 80 fewer trips on a Saturday. During the weekday morning peak hour, Gloucester Crossing is projected to generate approximately 30 fewer trips. During the weekday evening peak and Saturday midday peak hours, Gloucester Crossing is projected to generate approximately the same amount of trips with the proposed site modifications.

The projected queues from the coffee shop or a pharmacy drive-through will not affect operations on either Route 128 or Schoolhouse Road. There is adequate queue length in each respective drive-through to handle the expected demand.



APPENDIX

TRAFFIC GENERATION WORKSHEETS



TRAFFIC GENERATION WORKSHEETS

Proposed Extended Stay Hotel, Gloucester, MA

Land Use Code (LUC) 312 - Business Hotel

Source : Institute of Transportation Engineers (ITE) Trip Generation, 10th Edition

Average Vehicle Trips Ends vs.: Rooms

Independent Variable (X): 100 rooms

SATURDAY DAILY

$$T = 5.79 * (X)$$

R²= Not Given

$$T = 5.79 * (100)$$

3 Studies, Avg. No. of rooms = 105

$$T = 579.00$$

Avg. Rate = 5.79 trips/room

$$T = 580 \quad \text{vehicle trips}$$

with 50% (290 vpd) entering and 50% (290 vpd) exiting.

SATURDAY MIDDAY PEAK HOUR OF GENERATOR

$$T = 0.42 * (X) + 3.74$$

R² = 0.68

$$T = 0.42 * (100) + 3.74$$

5 Studies, Avg. No. of rooms = 93

$$T = 45.74$$

Avg. Rate = 0.46 trips/room

$$T = 46 \quad \text{vehicle trips}$$

with 48% (22 vpd) entering and 52% (24 vpd) exiting.

SUNDAY DAILY

$$T = 4.43 * (X)$$

R²= Not Given

$$T = 4.43 * (100)$$

3 Studies, Avg. No. of rooms = 105

$$T = 443.00$$

Avg. Rate = 4.43 trips/room

$$T = 443 \quad \text{vehicle trips}$$

with 50% (222 vpd) entering and 50% (221 vpd) exiting.

SUNDAY MIDDAY PEAK HOUR OF GENERATOR

$$T = 0.46 * (X)$$

R²= Not Given

$$T = 0.46 * (100)$$

3 Studies, Avg. No. of rooms = 105

$$T = 46.00$$

Avg. Rate = 0.46 trips/room

$$T = 46 \quad \text{vehicle trips}$$

with 46% (21 vpd) entering and 54% (25 vpd) exiting.

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 188.400 ksf

AVERAGE WEEKDAY DAILY

$$\ln T = 0.68 \ln(X) + 5.57$$

$$R^2 = 0.76$$

$$\ln T = 0.68 \ln(188.400) + 5.57$$

147 Studies, Avg size = 453

$$\ln T = 9.13$$

$$T = 9248.58 \quad (\text{Avg Rate} = 37.75 \text{ trips/ksf})$$

$$T = 9,248 \text{ vehicle trips} \quad (\text{Rate} = 49.09 \text{ trips/ksf})$$

with 50% (4,624 vpd) entering and 50% (4,624 vpd) exiting.

24.55

24.55

49.09

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.50 * (X) + 151.78$$

$$R^2 = 0.50$$

$$T = 0.50 * (188.400) + 151.78$$

84 Studies, Avg size = 351 ksf

$$T = 245.98$$

$$(\text{Avg Rate} = 0.94 \text{ trips/ksf})$$

$$T = 246 \text{ vehicle trips}$$

$$(\text{Rate} = 1.306 \text{ trips/ksf})$$

with 62% (153 vph) entering and 38% (93 vph)

0.81

0.50

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$$T = 2.76 * (X) + 77.28$$

$$R^2 = 0.71$$

$$T = 2.76 * (188.400) + 77.28$$

47 Studies, Avg size = 323 ksf

$$T = 597.26$$

$$(\text{Avg Rate} = 3 \text{ trips/ksf})$$

$$T = 597 \text{ vehicle trips}$$

$$(\text{Rate} = 3.169 \text{ trips/ksf})$$

with 54% (322 vph) entering and 46% (275 vph)

1.71

1.46

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.74 \ln(X) + 2.89$$

$$R^2 = 0.82$$

$$\ln T = 0.74 \ln(188.400) + 2.89$$

261 Studies, Avg size = 327

$$\ln T = 6.77$$

$$T = 868.30 \quad (\text{Avg Rate} = 3.81 \text{ trips/ksf})$$

$$T = 868 \text{ vehicle trips} \quad (\text{Rate} = 4.607 \text{ trips/ksf})$$

with 48% (417 vph) entering and 52% (451 vph) exiting.

2.21

2.40

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.72 \ln(X) + 3.02$$

$$R^2 = 0.76$$

$$\ln T = 0.72 \ln(188.400) + 3.02$$

53 Studies, Avg size = 298

$$\ln T = 6.79$$

$$T = 890.49 \quad (\text{Avg Rate} = 4.21 \text{ trips/ksf})$$

$$T = 890 \text{ vehicle trips} \quad (\text{Rate} = 4.724 \text{ trips/ksf})$$

with 50% (445 vph) entering and 50% (445 vph) exiting.

2.36

2.36

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 188.400 ksf

SATURDAY DAILY

$$\ln T = 0.62 \ln (X) + 6.24$$

$$R^2 = 0.71$$

$$\ln T = 0.62 \ln (188.400) + 6.24$$

58 Studies, Avg size = 602

$$\ln T = 9.49$$

$$T = 13199.20 \quad (\text{Avg Rate} = 46.12 \text{ trips/ksf})$$

$$T = 13,200 \quad \text{vehicle trips} \quad (\text{Rate} = 70.06 \text{ trips/ksf})$$

with 50% (6,600 vpd) entering and 50% (6,600 vpd) exiting.
35.03 35.03

SATURDAY PEAK HOUR OF GENERATOR

$$\ln T = 0.79 \ln (X) + 2.79$$

$$R^2 = 0.87$$

$$\ln T = 0.79 \ln (188.400) + 2.79$$

119 Studies, Avg size = 416

$$\ln T = 6.93$$

$$T = 1020.93 \quad (\text{Avg Rate} = 4.5 \text{ trips/ksf})$$

$$T = 1,021 \quad \text{vehicle trips} \quad (\text{Rate} = 5.419 \text{ trips/ksf})$$

with 52% (531 vph) entering and 48% (490 vph) exiting.
2.82 2.60

SUNDAY DAILY

$$T = 21.10 * (X)$$

$$R^2 = \text{Not Given}$$

$$T = 21.10 * (188.400)$$

30 Studies, Avg size = 509

$$T = 3,975.24 \quad (\text{Avg Rate} = 21.20 \text{ trips/ksf})$$

$$T = 3,976 \quad \text{vehicle trips} \quad (\text{Rate} = 21.1 \text{ trips/ksf})$$

with 50% (1,988 vpd) entering and 50% (1,988 vpd) exiting.
10.55 10.55

SUNDAY PEAK HOUR OF GENERATOR

$$T = 2.79 * (X)$$

$$R^2 = \text{Not Given}$$

$$T = 2.79 * (188.400)$$

39 Studies, Avg sf of GFA = 369

$$T = 525.64 \quad (\text{Avg Rate} = 2.79 \text{ trips/ksf})$$

$$T = 526 \quad \text{vehicle trips} \quad (\text{Rate} = 3.12 \text{ trips/ksf})$$

with 49% (258 vph) entering and 51% (268 vph) exiting.
1.37 1.42

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 200.000 ksf

AVERAGE WEEKDAY DAILY

$$\ln T = 0.68 \ln (X) + 5.57$$

$$R^2 = 0.76$$

$$\ln T = 0.68 \ln (200.000) + 5.57$$

147 Studies, Avg size = 453

$$\ln T = 9.17$$

$$T = 9632.09 \quad (\text{Avg Rate} = 37.75 \text{ trips/ksf})$$

$$T = 9,632 \quad \text{vehicle trips} \quad (\text{Rate} = 48.16 \text{ trips/ksf})$$

with 50% (4,816 vpd) entering and 50% (4,816 vpd) exiting.

24.08

24.08

48.16

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.50 * (X) + 151.78$$

$$R^2 = 0.50$$

$$T = 0.50 * (200.000) + 151.78$$

84 Studies, Avg size = 351 ksf

$$T = 251.78$$

$$(\text{Avg Rate} = 0.94 \text{ trips/ksf})$$

$$T = 252 \quad \text{vehicle trips}$$

$$(\text{Rate} = 1.26 \text{ trips/ksf})$$

with 62% (156 vph) entering and 38% (96 vph)

0.78

0.48

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$$T = 2.76 * (X) + 77.28$$

$$R^2 = 0.71$$

$$T = 2.76 * (200.000) + 77.28$$

47 Studies, Avg size = 323 ksf

$$T = 629.28$$

$$(\text{Avg Rate} = 3 \text{ trips/ksf})$$

$$T = 629 \quad \text{vehicle trips}$$

$$(\text{Rate} = 3.145 \text{ trips/ksf})$$

with 54% (340 vph) entering and 46% (289 vph)

1.70

1.45

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.74 \ln (X) + 2.89$$

$$R^2 = 0.82$$

$$\ln T = 0.74 \ln (200.000) + 2.89$$

261 Studies, Avg size = 327

$$\ln T = 6.81$$

$$T = 907.56 \quad (\text{Avg Rate} = 3.81 \text{ trips/ksf})$$

$$T = 908 \quad \text{vehicle trips} \quad (\text{Rate} = 4.54 \text{ trips/ksf})$$

with 48% (436 vph) entering and 52% (472 vph) exiting.

2.18

2.36

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.72 \ln (X) + 3.02$$

$$R^2 = 0.76$$

$$\ln T = 0.72 \ln (200.000) + 3.02$$

53 Studies, Avg size = 298

$$\ln T = 6.83$$

$$T = 929.63 \quad (\text{Avg Rate} = 4.21 \text{ trips/ksf})$$

$$T = 930 \quad \text{vehicle trips} \quad (\text{Rate} = 4.65 \text{ trips/ksf})$$

with 50% (465 vph) entering and 50% (465 vph) exiting.

2.33

2.33

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 200.000 ksf

SATURDAY DAILY

$$\ln T = 0.62 \ln (X) + 6.24$$

$$R^2 = 0.71$$

$$\ln T = 0.62 \ln (200.000) + 6.24$$

58 Studies, Avg size = 602

$$\ln T = 9.52$$

$$T = 13697.34 \quad (\text{Avg Rate} = 46.12 \text{ trips/ksf})$$

$$T = 13,698 \quad \text{vehicle trips} \quad (\text{Rate} = 68.49 \text{ trips/ksf})$$

with 50% (6,849 vpd) entering and 50% (6,849 vpd) exiting.
34.25 34.25

SATURDAY PEAK HOUR OF GENERATOR

$$\ln T = 0.79 \ln (X) + 2.79$$

$$R^2 = 0.87$$

$$\ln T = 0.79 \ln (200.000) + 2.79$$

119 Studies, Avg size = 416

$$\ln T = 6.98$$

$$T = 1070.27 \quad (\text{Avg Rate} = 4.5 \text{ trips/ksf})$$

$$T = 1,070 \quad \text{vehicle trips} \quad (\text{Rate} = 5.35 \text{ trips/ksf})$$

with 52% (556 vph) entering and 48% (514 vph) exiting.
2.78 2.57

SUNDAY DAILY

$$T = 21.10 * (X)$$

$$R^2 = \text{Not Given}$$

$$T = 21.10 * (200.000)$$

30 Studies, Avg size = 509

$$T = 4,220.00 \quad (\text{Avg Rate} = 21.20 \text{ trips/ksf})$$

$$T = 4,220 \quad \text{vehicle trips} \quad (\text{Rate} = 21.1 \text{ trips/ksf})$$

with 50% (2,110 vpd) entering and 50% (2,110 vpd) exiting.
10.55 10.55

SUNDAY PEAK HOUR OF GENERATOR

$$T = 2.79 * (X)$$

$$R^2 = \text{Not Given}$$

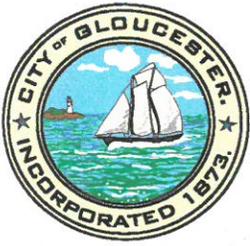
$$T = 2.79 * (200.000)$$

39 Studies, Avg sf of GFA = 369

$$T = 558.00 \quad (\text{Avg Rate} = 2.79 \text{ trips/ksf})$$

$$T = 558 \quad \text{vehicle trips} \quad (\text{Rate} = 3.12 \text{ trips/ksf})$$

with 49% (273 vph) entering and 51% (285 vph) exiting.
1.37 1.42



CITY OF GLOUCESTER
GLOUCESTER, MASSACHUSETTS 01930

CITY OF GLOUCESTER
Special Council Permit - Application
MODIFICATION

RECEIVED
OCT - 2 2018
COMMUNITY DEVELOPMENT
CITY OF GLOUCESTER

December 20, 2018
(Public hearing to be held no later than
above date)

In conformance with the requirements of the Zoning Ordinance of the City of Gloucester, the undersigned hereby applies for a Special Council Permit (CC or CCS) in accordance with Section 1.8.3 of the Ordinance and other Sections as listed below:

Type of Permit (Give specific section of Zoning Ordinance)
Modification of Shopping Center pursuant to Section 1.5.3(c) and (d); Major Project Modification 5.7

Applicant's Name: Sam Park & Company, LLC

Owner's
Name: Gloucester Commons, LLC
(if different from applicant)

Location: 1 and 7 Gloucester Crossing Road Map #262 Lot # 13 and 37
(Street Address)

Zoning Classification: Extensive Business

- Attached is a list of owners (with complete addresses) of land directly opposite on any public or private street or way, direct abutters, and abutters to the abutters of land within three hundred (300) feet of the property line, as they appear on the most recent City of Gloucester Assessor's Maps and Tax list.
- Attached is a listing of criteria set forth in Section 1.8.3 of the Zoning Ordinance, including any supportive material or comments the applicant may wish to include (i.e. ZBA decisions, Order of Conditions, etc.) if necessary.
- Attached are the necessary plans as set forth in Section 1.5.3, of the Zoning Ordinance, which at a minimum consist of an accurate plot plan (to scale) showing existing and/or proposed building or structures.

2018 OCT 16 PM 1:44
CITY CLERK
GLOUCESTER, MA

City of Gloucester - Action

Fee: 5,000
City Clerk (received): 10/16/18
City Council (received): 10/23/18
Public Hearing (ordered): _____
Public Hearing (opened): _____
Public Hearing (closed): _____
Final Decision: _____
Disposition _____
(Approved, Denied, Approved w/conditions)

APPLICANT:

[Signature]
Name (Signature)

333 School Street #200 Mansfield, MA
Address
617-742-5589
Telephone

Certified for completeness:

Building Inspector: [Signature] Date: 10/4/18
Planning Director: [Signature] Date: 10/4/18

Section 1.8.3 (Use additional sheets, if necessary)

1. Social, Economic, or community need served by the proposal:

See Supplemental Sheet 1 Attached

2. Traffic flow and safety:

See Supplemental Sheet 1 Attached

3. Adequacy of utilities and other public services:

See Supplemental Sheet 1 Attached

4. Neighborhood character and social structure:

See Supplemental Sheet 1 Attached

5. Qualities of the natural environment:

See Supplemental Sheet 1 Attached

6. Potential fiscal impact:

See Supplemental Sheet 1 Attached

The applicant is advised that City staff is available to assist the applicant in preparing the Application, including the Inspector of Buildings and City Planner

Supplemental Sheet 1 to Application
Shopping Center
Modification to Special Permit

The Applicant believes that the proposed Modification to the Shopping Center Special Council Permit adopted by the Gloucester City Council on October 16, 2007 will be in harmony with the intent and purpose of the Zoning Ordinance as the proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the City. The Applicant bases that statement on a careful analysis of the six criteria that the Council shall consider in granting a Special Permit under Section 1.8.3:

1. **Social, economic, or community needs** are served by the proposal as Phase I of the shopping center has been built with consistent tenants who provide service, convenience, retail, employment, and an increased tax base to the City. The currently proposed Phase 2 build out and tenanting is responsive to the needs and demands expressed during the first phase of the Shopping Center. There has been no demonstrated need for another full service hotel in Gloucester. There has been demonstrated need, however, for more convenience provided by drive through facilities, additional retail, and restaurant services for the City and in response to the development of the abutting former Fuller School site
2. **Traffic flow and safety** are adequately addressed as a very comprehensive Traffic Impact Study was completed, reviewed, and approved for the original permitting. The proposed modifications of the Shopping Center influence only internal traffic flow and safety. The elimination of the hotel use reduces the number of traffic trips and the number of required parking spaces. A traffic study specific to the proposed drive through facilities by a registered professional engineer accompanies this application and indicates no adverse impact with the additional proposed retail and concluding there is a safe internal design.
3. Municipal **utilities** are determined to be adequate as the proposed changes from hotel use to increased retail make certain utility demands less than what was originally approved. The project had been master planned to include future construction and all necessary infrastructure is in place.

4. The **neighborhood character and social structure** are appropriate for this modification as the removal of the hotel use removes also a four story building, a height exception special permit, a special permit for distance between two buildings, and potentially increased traffic. Architecture has been designed to be consistent with the established materials and design of Phase I of Gloucester Crossing. No impact is anticipated on the neighborhood character or its social structure.
5. The **natural environment** will be improved by the buildout of Phase 2 of the Gloucester Crossing shopping center by eliminating a large as yet unbuilt area, will be improved by the elimination of a four story building, and by continued maintenance of the protected areas. Expansion and improvement are ongoing. All mitigation for the shopping center was implemented during the initial construction, upgrading a swath of degraded resource area, providing landscaped islands, wide landscaped property line buffer areas, and significantly improved drainage patterns.
6. The **potential fiscal impact** is positive as the substantial investment in the initial Phase of development has provided employment, higher tax assessment, and customer satisfaction. Those impacts will each increase through the development of Phase 2 of the shopping center.

Application for Special Permit

The undersigned applicant hereby applies for a special permit under M.G.L., Ch. 40A, § 9 as follows.

1. Applicant (includes equitable owner or purchaser on a purchase and sales agreement):

Name: Sam Park & Company, LLC

Address: 333 School Street, #200 Mansfield, MA 02048

Tel.# Days 617-742-5589 Evenings _____

_____ Check here if you are the purchaser on a purchase and sales agreement.

2. Owner, if other than applicant:

Name: Gloucester Commons, LLC

Address: 333 School Street, #200 Mansfield, MA 02048

Tel.# Days 617-742-5589 Evenings _____

3. Property:

Street address: 1 and 7 Gloucester Crossing Road

Assessor's Map: 262 Lot: 13 and 37

Registry of Deeds where deed, plan, or both records:

Essex South

Deed recording: Book _____ Certificate _____ Page 80200

Plan recording: Plan # _____

Property is located in the Extensive Business zoning district.

4. Nature of relief requested:

Special permit pursuant to Article/Section 1.5.3 (c) and (d) and 5.7 of the Zoning Ordinance/By-Law

which authorizes the Gloucester City Council to permit

a modification of a special council permit for a shopping center

Detailed explanation of request:

Condition 3 of the Special Council Permit for a Shopping Center at Gloucester Crossing states that if proposed modifications to the approved permit are determined to be substantial the same standards and procedures originally applicable shall apply to such modifications and review. The proposed modifications are reconfigurations of Building C and Building E, the replacement of the proposed hotel with additional retail, a reconfiguration of the parking fields to eliminate underground parking and to comply with the requirements of two proposed drive through's

5. Evidence to support grant of special permit:

Because of reasons set forth below, the special permit requested will be in harmony with the intent and purpose of the Zoning Ordinance/By-Law:

Since the original permitting of the shopping center, it is clear that the shopping center is in harmony with the Gloucester Zoning Ordinance by enhancing convenience for inhabitants in a safe, well designed, environmentally compatible center. The applicant also learned that there is no need for a hotel as originally envisioned because of the success of a new downtown hotel, but that there is a need for increased retail and related services, especially with the development of the abutting property. New housing and the YMCA will generate increased interest in retail, restaurant, and services that can be met with this application for Modification of the original Special Council Permit.

Because of reasons set forth below, the special permit requested will meet the additional requirements of the Zoning Ordinance/By-Law as follows:

The requested Special Permit will continue to follow the Ordinance's suggested guidelines for a Major Project and the specific guidelines for a Shopping Center pursuant to Section 5.7.5. Please see supplemental sheet attached.

If someone other than owner or equitable owner (purchaser on a purchase and sales agreement) is the Applicant or will represent the Applicant, owner or equitable owner, must designate such representative below.

Name of Representative: Michele Holovak Harrison

Address of Representative: 27 Sayward Street Gloucester, MA 01930

Tel. # Days 508-284-4499 Evenings

Relationship of representative to owner or equitable owner:

Special Permit Project Manager Sam Park & Company/Gloucester Crossing

Guidelines under Section 5.7.5
Major Project – Shopping Center

As set forth below, Section 5.7.5 (a – d) of the Zoning Ordinance lists four criteria to be considered as guidelines by the City Council in acting on a Major Project along with the Special Council Permit criteria discussed in the Application. This application is for a Modification of the approved shopping center Special Permit at Gloucester Crossing. Therefore, each of these guidelines has previously been addressed. Any updates required because of the proposed modifications are noted below.

Section 5.7.5(a) recommends that access should be from an arterial or collector street via ways servicing not more than ten single-family homes. Route 128 Extension, which provides the access, is an arterial street as defined in the Zoning Ordinance and demonstrates compliance with guideline “a.”

Section 5.7.5(b) is not applicable as the project is connected to municipal sewerage system and will not use on-site sewage disposal.

Section 5.7.5 (c) Access, improved drainage, and utilities serving each structure met functional standards equivalent to those established in the Gloucester Subdivision Regulations as discussed below.

1. **Access:** The shopping center is accessed from the Route 128 Extension, avoiding access via minor streets serving single-family homes.
2. **Drainage:** A stormwater management plan has been designed and installed that satisfies requirements of the Gloucester Conservation Commission and Department of Environmental Protection under the City and State wetlands laws. The proposed Modification does not increase the impervious area of the project and does not materially change the hydrologic design of the installed system, therefore no modifications are required to the detention and water quality systems in place. Minor adjustments to the collection system are proposed to address changes in the layout of buildings and parking.
3. **Utilities:** Water line improvements have been installed; the municipal sewer system had been studied, reviewed, and determined

to be adequate for capacity and flow. The change from Hotel to Retail use will result in a reduction of sewer flow.

4. **Screening:** The project, including parking areas, incorporated significant landscape screening to reduce any impact to surrounding residential properties. Additional screening will be added as required for any new parking areas.
5. **Lighting:** The project utilizes cut-off type parking lot lighting, mitigating light spill over to abutting properties and has been installed to follow the Gloucester's lighting guidelines. The project will re-use existing light parking lot fixtures currently installed in the project area. New pedestrian fixtures will be installed that match the existing pedestrian fixtures in other areas of the Shopping Center.
6. **Egress:** The project does not require backing into any public way or interior road for ingress or egress. The existing and proposed site configurations will have adequate and safe customer vehicle circulation and delivery truck circulation.
7. **Topographic Changes:** The proposed project incorporated grading changes as necessary for all improvements. Retaining walls were constructed where necessary. Minor, insubstantial topographic changes are required for the Modification. Removal of the underground parking for the hotel will simplify the earthwork needed to complete the building pads.
8. **Existing Trees:** The initial project required the removal of some trees in the development area. They were replaced with new plantings. No trees will be removed a result of the proposed modifications. Additional plantings are anticipated with the proposed modifications.

Section 5.7.5 (d): On or about October 12, 2006, the Zoning Board of Appeals granted a Special Permit for a reduction in the number of parking spaces and certain dimensional variances. Relief of approximately 20% or a reduction of 237 parking spaces was given. A copy of the Zoning Board decision is a part of this application. The applicant acknowledges that occupancy permits will be obtained prior to the occupancy of any new structure.

In addition, Section 5.7.5(f) addresses certain guidelines for a shopping center. They are:

1. The shopping center is located within 300 feet of more than ten residential structures but there is significant screening in that area to reduce any impact. This area of the project is completed, and no changes proposed.
2. A Traffic Impact Analysis was provided, reviewed, and approved for the original Special Permit. An updated traffic study indicating safety within the Shopping Center itself is with this application.
3. No part of the parking area or shopping center structures has been built nor will within 100 feet of the right of way line of Route 128 or within 30 feet of any other street. Retaining walls have been constructed within 100 feet of the right of way line of Route 128.
4. A Stormwater Management Plan has been provided, reviewed, and approved as part of the initial Special Permit approval. The proposed Modification does not increase the impervious area of the project and does not materially change the hydrologic design of the installed system, therefore no modifications are required to the detention and water quality systems in place. Minor adjustments to the collection system are proposed to address changes in the layout of buildings and parking.
5. There is no egress within 250 feet of any other egress on the same side of the street or within 250 feet of the nearest point of an expressway interchange right of way. Egressing vehicles have greater than 400 feet visibility in each travel direction.
6. Outdoor lighting fixtures are higher than 20 feet and utilize cut-off type parking lot lighting to mitigate the light spill to abutting properties and incorporated lighting guidelines.
7. Banks exceeding 15 degrees in slope as a result of site grading have either be retained with a non-bituminous retaining wall or planted with vegetative cover to prevent erosion.

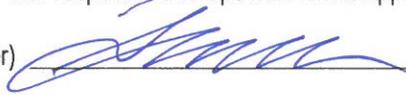
8. No earth removal permit will be necessary for the proposed buildings proposed in this Modification. No buildings proposed in this application will be constructed on elevation less than 10, therefore no lowland permit is necessary.
9. A reduction in required number of parking spaces was granted by the Zoning Board of Appeals. The decision is incorporated into this application. The revised parking design and layout conform to the requirements of Section 4.1.4. Loading spaces will be provided for the reconfigured buildings as required in Section 4.2.
10. Screening has been provided for all parking and loading or service areas in accordance with Section 4.5. Any new parking and/or loading areas shall also incorporate the required screening.
11. Tree planting guidelines will continue to be followed.
12. A variance from the maximum sign size requirement was granted by the Zoning Board of Appeals, establishing a formula to determine sign size. The decision is incorporated into this application. Suggested signage is shown on elevations and site plans.

Michele Holovak Harrison

I hereby authorize _____ to represent my interests before the

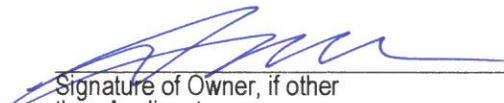
Special Permit Granting Authority with respect to this Special Permit Application.

(Signed by owner/equitable owner)



I hereby certify under the pains and penalties of perjury that the information contained in this Application is true and complete.

 10/2/18
Signature of Applicant Date

 10/2/18
Signature of Owner, if other than Applicant Date

Signature of Equitable Owner who is filing application to satisfy condition of Purchase and Sales agreement Date



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
31-18 GLOUCESTER CITY OF	18A BECKFORD ST	31-18	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
46-52 AMERO DOUGLAS F & DEBORAH J	79 PERKINS ST	46-52	AMERO DOUGLAS F & DEBORAH J 79 PERKINS ST GLOUCESTER, MA 01930
46-30 RUNNELLS ERNEST P & JEAN LYNN	80 PERKINS ST	46-30	RUNNELLS ERNEST P & JEAN LYNN 80 PERKINS ST GLOUCESTER, MA 01930
46-31 OLIVEIRA MARK D & ANN MARIE	82 PERKINS ST	46-31	OLIVEIRA MARK D & ANN MARIE 82 PERKINS ST GLOUCESTER, MA 01930
46-32 CANTY TIMOTHY J & LORINDA L	84 PERKINS ST	46-32	CANTY TIMOTHY J & LORINDA L 84 PERKINS ST GLOUCESTER, MA 01930
262-9 PERRUZZI RICHARD TR PERRUZZI NOMINEE TRUST OF 2006	10 SADLER STREET EX	262-9	PERRUZZI RICHARD TR PERRUZZI NOMINEE TRUST OF 2006 320 WESTERN AV GLOUCESTER, MA 01930
262-14 GLOUCESTER CITY OF	4 SCHOOL HOUSE RD	262-14	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
262-36 GLOUCESTER CITY OF	7 SCHOOL HOUSE RD	262-36	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-17 GLOUCESTER CITY OF	15R DODGE ST	31-17	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-16 PSZENNY NICOLAS CHARLES	27 DODGE ST	31-16	PSZENNY NICOLAS CHARLES 27 DODGE ST GLOUCESTER, MA 01930-2903



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
28-29 OLIVER RAPHAEL & DEBORAH TBYE	30 DODGE ST	28-29	OLIVER RAPHAEL & DEBORAH TBYE 30 DODGE ST GLOUCESTER, MA 01930
262-13 GLOUCESTER COMMONS LLC C/O DSM REALTY	1 GLOUCESTER CROSSING	262-13	GLOUCESTER COMMONS LLC C/O DSM REALTY 875 EAST STREET TEWKSBURY, MA 01876
262-37 GLOUCESTER COMMONS LLC C/O DSM REALTY	7 GLOUCESTER CROSSING RD	262-37	GLOUCESTER COMMONS LLC C/O DSM REALTY 875 EAST ST TEWKSBURY, MA 01876
31-19 GLOUCESTER CITY OF	6 GREEN ST	31-19	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
31-20 GLOUCESTER CITY OF	10 GREEN ST	31-20	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
46-14 SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR	14A GREEN ST	46-14	SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR 14 GREEN ST GLOUCESTER, MA 01930
46-15 SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR	14 GREEN ST	46-15	SPERRY JOHN E ET AL TRS THE JOHN W SPERRY FAMILY IRREVOCABLE TR 14 GREEN ST GLOUCESTER, MA 01930
46-13 QUINN DAVID G & MARY BETH	16 GREEN ST	46-13	QUINN DAVID G & MARY BETH 16 GREEN ST GLOUCESTER, MA 01930
46-12 CHURCHILL GAIL M	20 GREEN ST	46-12	CHURCHILL GAIL M 20 GREEN ST GLOUCESTER, MA 01930
46-11 CONSIGLIO PHILIP & GAIL P	22 GREEN ST	46-11	CONSIGLIO PHILIP & GAIL P 22 GREEN ST GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
46-9 LINQUATA LILLIAN R & DAVID M	26 GREEN ST	46-9	LINQUATA LILLIAN R & DAVID M 26 GREEN ST GLOUCESTER, MA 01930
46-8 KERN CLAYTON S & JENNIFER R	28 GREEN ST	46-8	KERN CLAYTON S & JENNIFER R 28 GREEN ST GLOUCESTER, MA 01930
46-7 CROFT WILLIAM L CROFT DOROTHY	30 GREEN ST	46-7	CROFT WILLIAM L CROFT DOROTHY 30 GREEN ST GLOUCESTER, MA 01930
46-6 DAVIS CHRISTOPHER W & MIMI V	32 GREEN ST	46-6	DAVIS CHRISTOPHER W & MIMI V 32 GREEN ST GLOUCESTER, MA 01930
46-5 MASON CARLO J & SHARON A	34 GREEN ST	46-5	MASON CARLO J & SHARON A 34 GREEN ST GLOUCESTER, MA 01930
46-36-995 35-37 GREEN ST TH CONDO TRUST C/O PARTINGTON DEREK & LISA	35 GREEN ST 995	46-36	35-37 GREEN ST TH CONDO TRUST C/O PARTINGTON DEREK & LISA 37 GREEN ST UNIT 1 GLOUCESTER, MA 01930
46-36-2 CROWLEY THOMAS P	35 GREEN ST 2	46-36	CROWLEY THOMAS P 35 GREEN ST UNIT 2 GLOUCESTER, MA 01930
46-36-1 MORIARTY GINA C	37 GREEN ST 1	46-36	MORIARTY GINA C 37 GREEN ST UNIT 1 GLOUCESTER, MA 01930
46-4 RUTKAUSKAS JASON A & KRISTIN H	38 GREEN ST	46-4	RUTKAUSKAS JASON A & KRISTIN H 38 GREEN ST GLOUCESTER, MA 01930
46-3 SMITH DAVID B TBYE & CAROLE AN	40 GREEN ST	46-3	SMITH DAVID B TBYE & CAROLE AN 40 GREEN ST GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
46-33 MURRAY DAVID P & MICHELE A TE	41 GREEN ST	46-33	MURRAY DAVID P & MICHELE A TE 41 GREEN ST GLOUCESTER, MA 01930
46-2 ALLEN COLLEEN M & FOOTE JARED M	42 GREEN ST	46-2	ALLEN COLLEEN M & FOOTE JARED M 42 GREEN ST GLOUCESTER, MA 01930
262-15 OLSON GUSTAVE JR & SANDRA TRS ET AL OLSON ESSEX COUNTY REALTY TRUST	41 TRASK ST	262-15	OLSON GUSTAVE JR & SANDRA TRS ET AL OLSON ESSEX COUNTY REALTY TRUST 1 MALLARD WY GLOUCESTER, MA 01930
262-5 GLOUCESTER CITY OF	43 WEBSTER ST	262-5	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
262-7 BARRY SCOTT A BARRY MARGO E TB	1 PERKINS PK	262-7	BARRY SCOTT A BARRY MARGO E TB 1 PERKINS PK GLOUCESTER, MA 01930
262-28 CURLEY SCOTT C SR & JOANN	4 PERKINS PK	262-28	CURLEY SCOTT C SR & JOANN 4 PERKINS PK GLOUCESTER, MA 01930
262-30 MCCARTHY MICHAEL J & DEBRA TE	5 PERKINS PK	262-30	MCCARTHY MICHAEL J & DEBRA TE 5 PERKINS PK GLOUCESTER, MA 01930
262-29 COBLE ROSEANNE & JAMES	6 PERKINS PK	262-29	COBLE ROSEANNE & JAMES 6 PERKINS PK GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER

STREET ADDRESS

PARCEL NO.

TAX BILL ADDRESS

The Gloucester Board of Assessors certifies that the Abutters Report program written to create a list of the names and addresses of property owners from the applicable tax list has been reviewed. To the best of our knowledge and belief the Abutters Report program generates an accurate list from the most recent tax list of the assessed owner of record and the mailing information of the parties in interest as defined within and required by the law and therefore the within document constitutes a certified abutters list.

Nancy A. Papows, MAA
Gary I. Johnstone, MAA
Bethann Brousseau, MAA
GLOUCESTER BOARD OF ASSESSORS

City of Gloucester Assessors' Office, City Hall, 9 Dale Avenue, Gloucester, MA 01930

9/13/2018



City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit 262-13

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

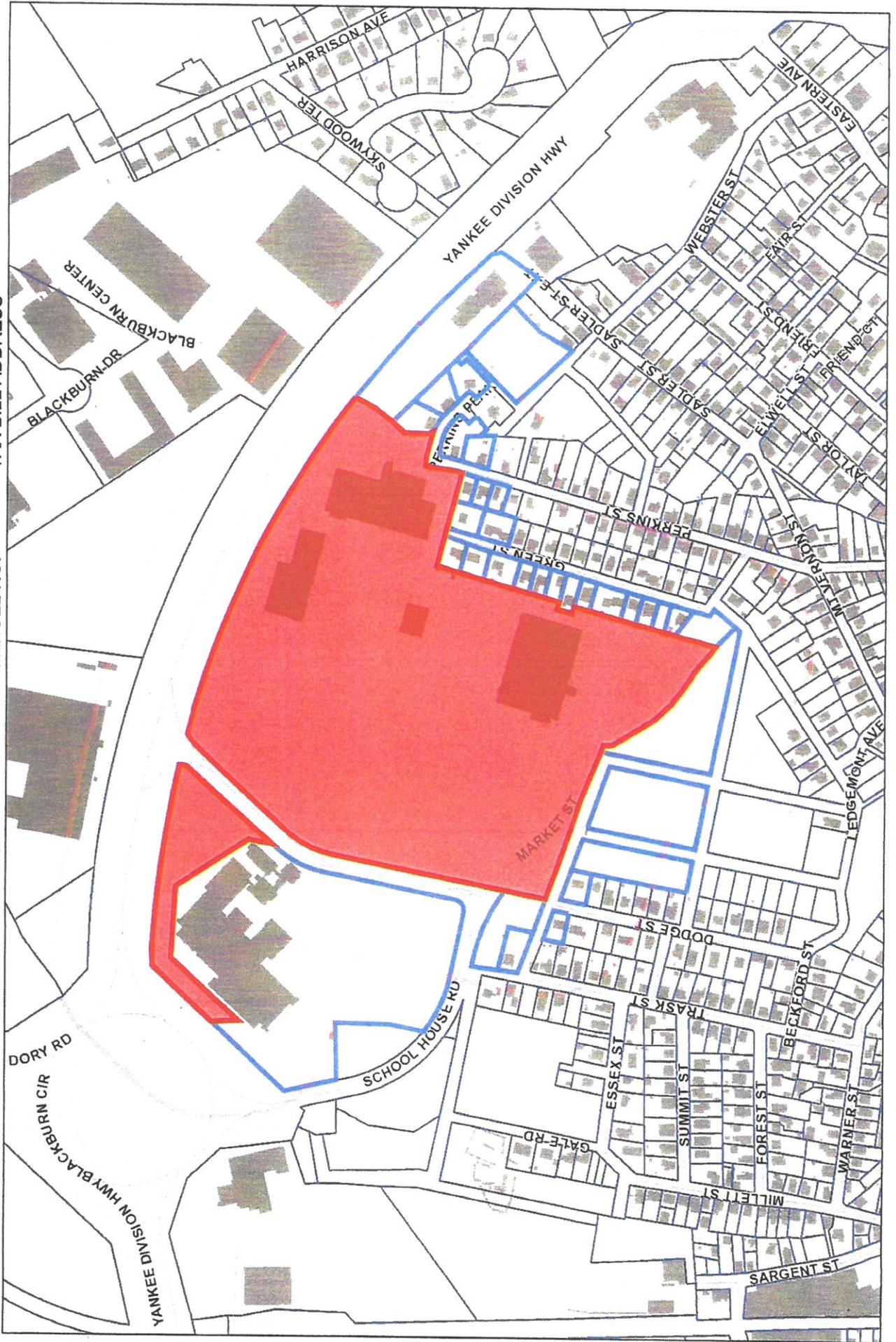
This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 262 Lot 13 as further shown on the attached map dated 9/13/2018.

ABUTTER

STREET ADDRESS

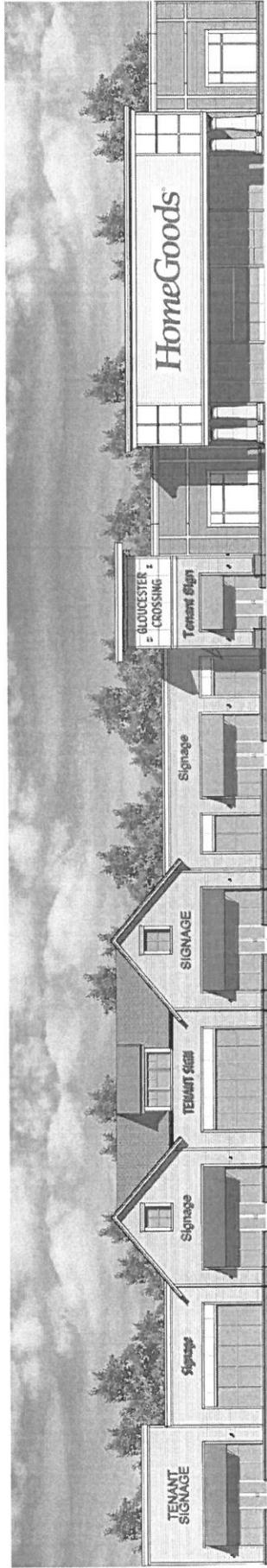
PARCEL NO.

TAX BILL ADDRESS



PROPOSED DEVELOPMENT

MA ROUTE 128, GLOUCESTER, MA



ISSUED FOR
PERMIT REVIEW
2018.10.01

DRAWING LIST

-	COVER SHEET	(BY ALLEN & MAJOR ASSOCIATES)
EX100	EXISTING CONDITIONS PLAN (4 SHEETS)	
C001	RECORD TOPOGRAPHY AND UTILITY PLAN	
C100	SITE PREPARATION PLAN	
C101	OVERALL SITE AND OVERLAY PLAN	
C102	LAYOUT AND MATERIALS PLAN	
C103	GRADING AND DRAINAGE PLAN	
C104	UTILITY PLAN	
C105	FIRE TRUCK CIRCULATION PLAN	
C106	TRUCK CIRCULATION PLAN	
C201	OPEN SPACE COMPARISON PLAN	
C202	CIVIL DETAILS	
C203	CIVIL DETAILS	
C204	CIVIL DETAILS	
L101	GUS FOOT PATH DETAILS	(BY RBLA DESIGN)
L201	OVERALL LANDSCAPE PLAN	(BY RBLA DESIGN)
A101	LANDSCAPE DETAILS	(BY HARRISON FRENCH ASSOCIATES)
A102	BUILDING C ELEVATIONS	(BY HARRISON FRENCH ASSOCIATES)
A103	BUILDING C2 ELEVATIONS	(BY HARRISON FRENCH ASSOCIATES)
	BUILDING E ELEVATIONS	(BY BKA ARCHITECTS)

Prepared for:
GLOUCESTER COMMONS, LLC
333 SCHOOL STREET SUITE 200
MANSFIELD, MA 02048

Prepared by:



WE HEREBY CERTIFY THAT:
 THIS PLAN IS THE RESULT OF AN ACTING SURVEYOR'S FIELD WORK AND CALCULATIONS PERFORMED BETWEEN MAY 21, 2018 AND SEPTEMBER 21, 2018. THE PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF REGISTRATION OF PROFESSIONAL SURVEYORS, MASSACHUSETTS, ADOPTED JANUARY 12, 1976 AND REVISED JANUARY 12, 1981, AND THE MASS REGISTRATION ACT, CHAPTER 270A, SECTION 10. THIS PLAN AND THE LINES DRAWING EXISTING THEREON ARE THE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. AND NO PART OF THIS PLAN OR ANY PARTS THEREOF ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLEN & MAJOR ASSOCIATES, INC. THE DESIGN OF EXISTING DIMENSIONS OR LOCATIONS OF EXISTING DIMENSIONS IS INTENDED TO BE APPROXIMATE AND IS NOT TO BE USED FOR THE RECORDING OF PLANS AND IS NOT TO BE USED FOR THE PURPOSES OF A SURVEY. ADDITIONAL INFORMATION, INCLUDING A PROFESSIONAL SURVEYOR'S CERTIFICATE OF ACCURACY, IS AVAILABLE UPON REQUEST. ALLEN & MAJOR ASSOCIATES, INC. PROFESSIONAL SURVEYORS 10/18/18

REV.	DATE	DESCRIPTION

APPROPRIATOR:
GLOUCESTER COMMONS LLC
 335 SCHOOL STREET, SUITE 200
 MANCHESTER, MA 02848

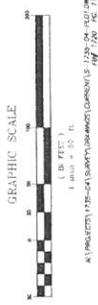
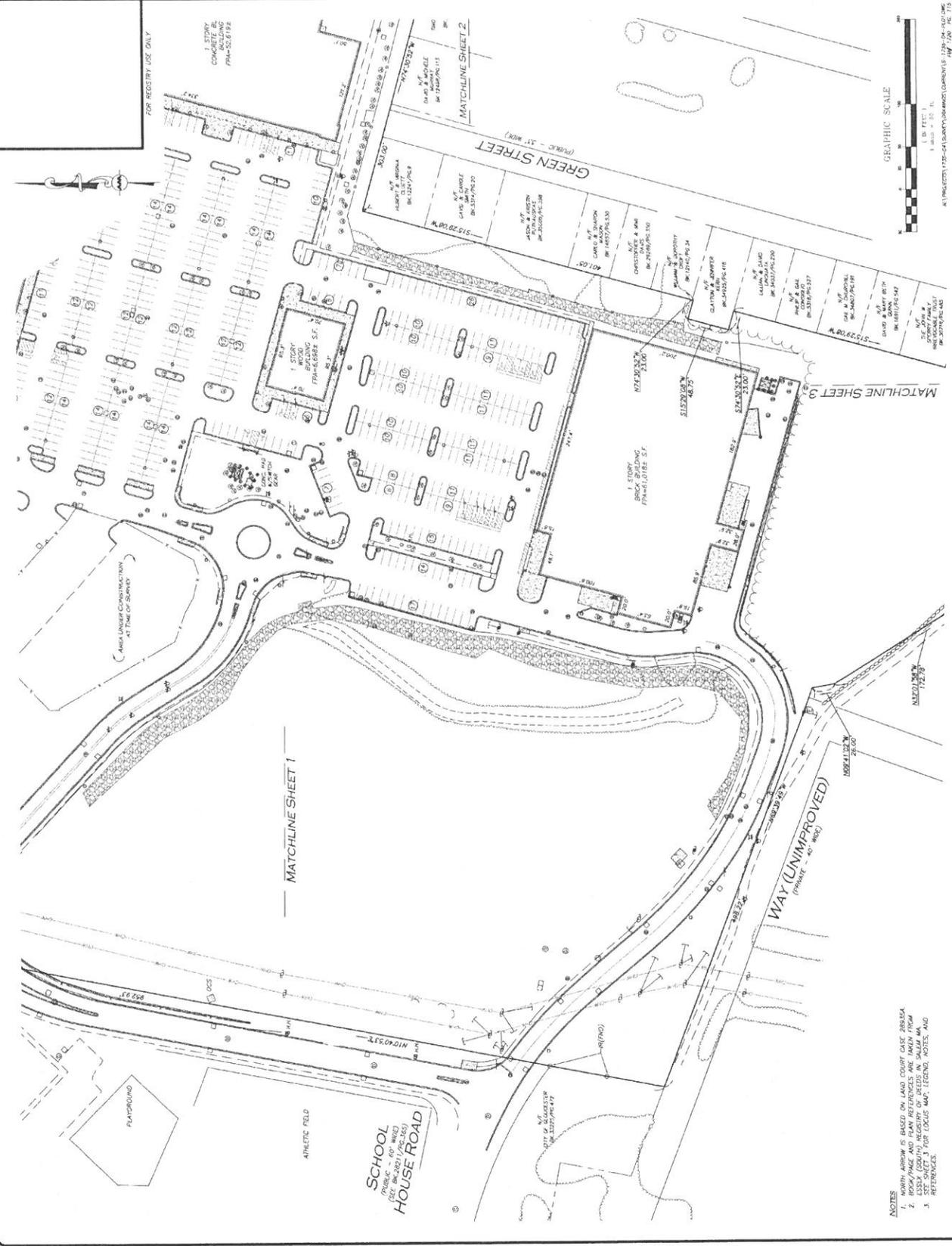
PROJECT:
GLOUCESTER CROSSING
 GLOUCESTER, MA

PROJECT NO. 175034 DATE: 08/24/18
 SCALE: 1" = 50' DWG NAME: 175034A01
 DRAWN BY: SAC/COB CHECKED BY: N/A
 PROJECTED BY: N/A



THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. THE ORIGINAL DRAWING IS STORED IN THE PROJECT'S ARCHIVE. THE ARCHIVE IS THE SOURCE OF THE ORIGINAL DRAWING. ANY CHANGES TO THE ORIGINAL DRAWING MUST BE MADE TO THE ORIGINAL DRAWING. THE ARCHIVE IS THE SOURCE OF THE ORIGINAL DRAWING. ANY CHANGES TO THE ORIGINAL DRAWING MUST BE MADE TO THE ORIGINAL DRAWING. THE ARCHIVE IS THE SOURCE OF THE ORIGINAL DRAWING. ANY CHANGES TO THE ORIGINAL DRAWING MUST BE MADE TO THE ORIGINAL DRAWING.

DRAWING TITLE: **PLOT PLAN**
 SHEET NO. **4 OF 4**



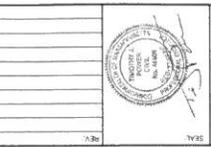
NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. BLOCK WALLS AND PLAN REFERENCES ARE TAKEN FROM THE 2018 MASS REGISTRATION ACT, CHAPTER 270A, SECTION 10.
 3. FOR LOCUS MAP, LEGEND, NOTES, AND REFERENCES.

	PROJECT: GLOUCESTER CROSSING PHASE 2 CLIENT: GLOUCESTER COMMONS, LLC 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048	ISSUED FOR CONSTRUCTION MARCH 16, 2018 RECORD TOPOGRAPHY AND UTILITY PLAN
CONSULTANT:	PROJECT:	SCALE: 1"=30' JOB NO: 15-002 FILE: 001-001-002.dwg DRAWN: KSA CHECKED: LP SHEET NO: EX100



NOTES

EXISTING CONDITIONS BASED ON RECORD DESIGN PLANS



DATE	10-01-18
BY	JL
SCALE	AS SHOWN
DRAWN	15-100-CR-IMP-002
CHECKED	JL
SHEET NO.	1/2

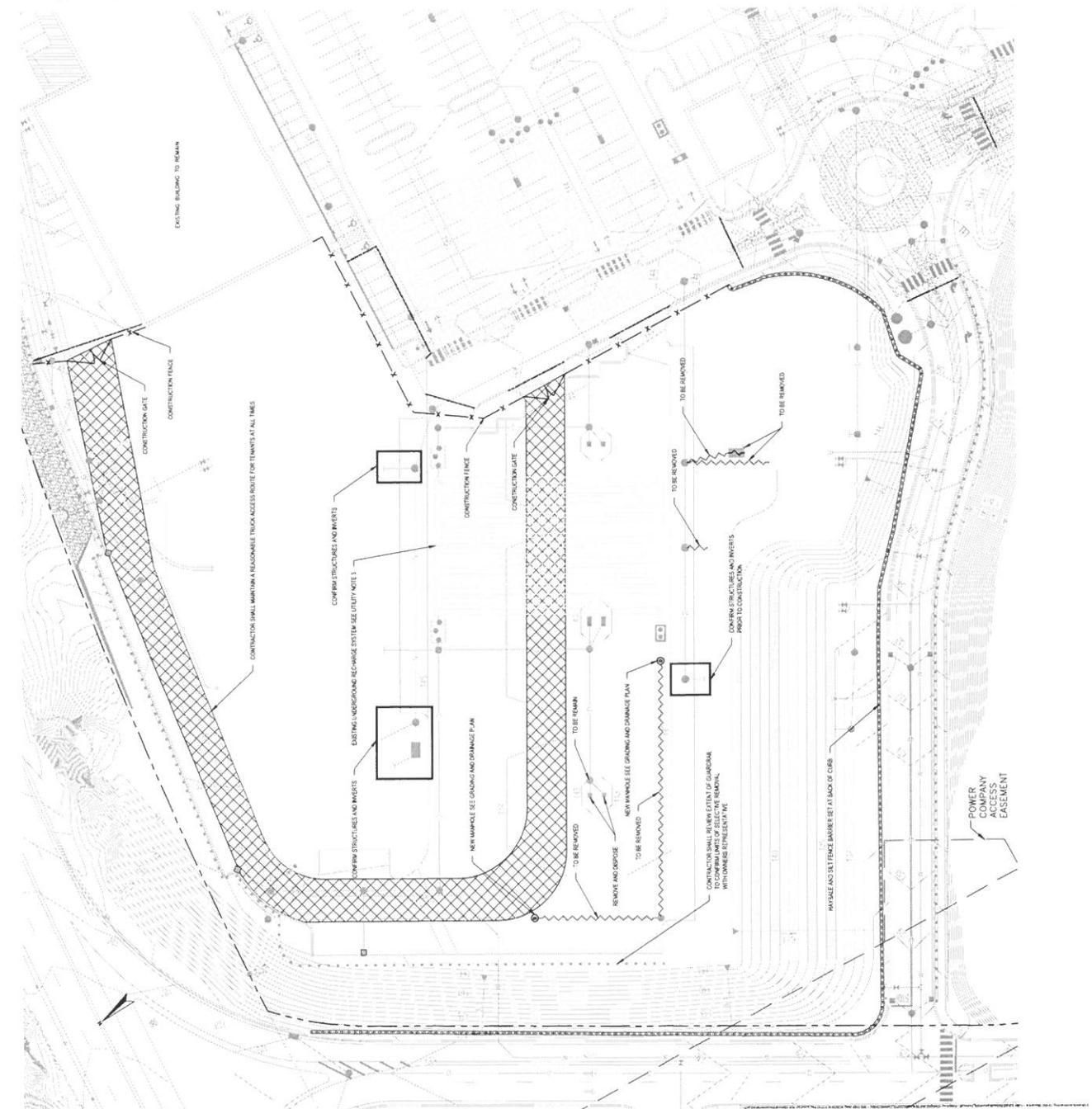
C001

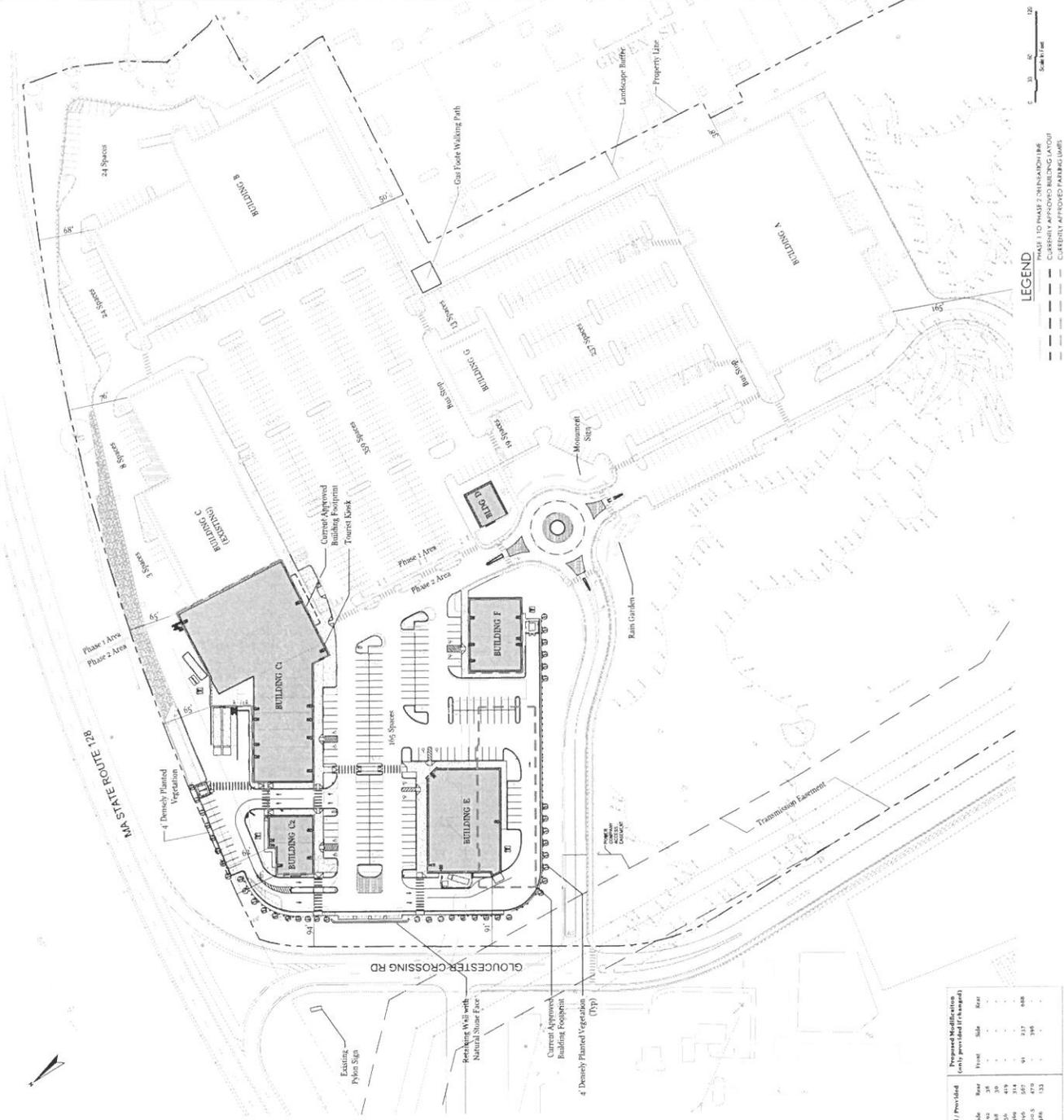
- ### GENERAL NOTES
- EXISTING CONDITIONS BASED ON RECORD DESIGN PLAN.
 - PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITIES AND AGENCY DEPARTMENTS AND BE RESPONSIBLE FOR ANY NECESSARY PERMITS AND ALL EXISTING UTILITIES SHALL BE PROTECTED AND MARKED.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN CONFIRMED VERIFIED BY THE OWNER OR THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR CAUSED BY THE CONTRACTOR FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS BASED ON THE RECORD DESIGN PLAN AND CONSTRUCTION CONTRACT OF RECORD, AND TO BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND TO BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND TO BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND TO BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
 - ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BEGINNING OF CONSTRUCTION.
 - ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE MAJOR AND DEPARTMENT OF PUBLIC WORKS STANDARDS.
 - SCREENED IMAGES SHOW EXISTING CONDITIONS WHERE EXISTING CONDITIONS BEING OR ARE IMPROVED FROM EXISTING CONDITIONS. WHERE EXISTING CONDITIONS ARE NOT SHOWN, THE EXISTING CONDITION WILL BE MAINTAINED UNLESS OTHERWISE INDICATED OR OTHERWISE AS NOTED.
 - ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE RECLAIMED TO A MINIMUM DEPTH OF 4" DEPTH TOPSOIL AND SEED.

- ### SITE PREPARATION NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH LOCAL MUNICIPAL DEPARTMENT SUCH AS, BUT NOT LIMITED TO, DPW, PUBLIC UTILITIES AND DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

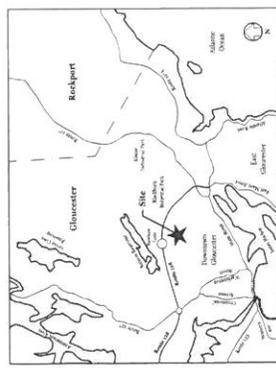
- ### CONSTRUCTION SEQUENCE
- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. ALL EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
 - ALL PERMANENT DITCHES AND SWALES ARE TO BE ESTABLISHED WITH VEGETATION OR BRUSH PRIOR TO DIRECTING RAINFALL TO THEM.
 - CLEAR CUT DIMENSION AND DEPOSIT OF EXISTING SITE (UNLESS NOT TO REMAIN).
 - GRADE AND GRAVEL ALL PROPOSED PAVED AREAS SHALL BE INSTALLED IMMEDIATELY AFTER GRADING.
 - INSTALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND BELLOTTES SHALL BE SEED AND MULCH IMMEDIATELY AFTER THEIR CONSTRUCTION.
 - DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, MULCH AND SEED AS REQUIRED.
 - PREPARE ALL HARD SURFACE AREAS.
 - INSTALL AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES.
 - COMPLETE PERMANENT SEEDING AND MULCHING.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES.
 - THE CONSTRUCTION SEQUENCE SHALL BE CONFIRMED TO THE OWNER AS SHOWN ON THE DRAWINGS.
 - UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES ON A TRIPLY BASE.

- ### UTILITY NOTES
- VERIFY ALL INFORMATION ON RECORD DESIGN PLAN. CONTRACTOR SHALL VERIFY ALL CONVECTION POINTS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY.
 - THESE SHALL BE IN THE PRESENCE OF AN UTILITY SERVICE THAT WILL IMPACT EXISTING UTILITIES WITHIN A MINIMUM 72 HOURS NOTICE AND OWNER'S CONSENT. UTILITIES TO BE PROTECTED SHALL BE MARKED WITH EVIDENCE THAT WILL BE IN PLACE FOR A PERIOD OF 14 DAYS PRIOR TO CONSTRUCTION.
 - LOADING COVER EXISTING UNDERGROUND REFINANCE SYSTEM.





LEGEND
 --- PHASE 1 TO PHASE 2 TRANSMISSION
 --- CURRENTLY APPROVED BUILDING FOOTPRINT
 --- CURRENT APPROVED PARKING SPACES



USE TABLES

CURRENTLY APPROVED BUILDING - RETAIL/RESTAURANT/OFFICE	HOTEL TOTAL
A	54,400
B	54,400
C	54,400
D	54,400
E	54,400
F	54,400
G	54,400
TOTAL	544,000

PROPOSED AMENDMENT BUILDING - RETAIL/RESTAURANT/OFFICE	HOTEL TOTAL
A	54,400
B	54,400
C	54,400
D	54,400
E	54,400
F	54,400
G	54,400
TOTAL	544,000

PARKING TABLES

ZONING	SEATS	ROOMS	EMPLOYEE SPACES
A	15,000	10	10
B	15,000	10	10
C	15,000	10	10
D	15,000	10	10
E	15,000	10	10
F	15,000	10	10
G	15,000	10	10
TOTAL	150,000	100	100

PROPOSED AMENDMENT

BUILDING DESCRIPTION	SF	SEATS	ROOMS	EMPLOYEE SPACES
A	54,400	15,000	10	10
B	54,400	15,000	10	10
C	54,400	15,000	10	10
D	54,400	15,000	10	10
E	54,400	15,000	10	10
F	54,400	15,000	10	10
G	54,400	15,000	10	10
TOTAL	544,000	150,000	100	100

BUILDING SETBACKS

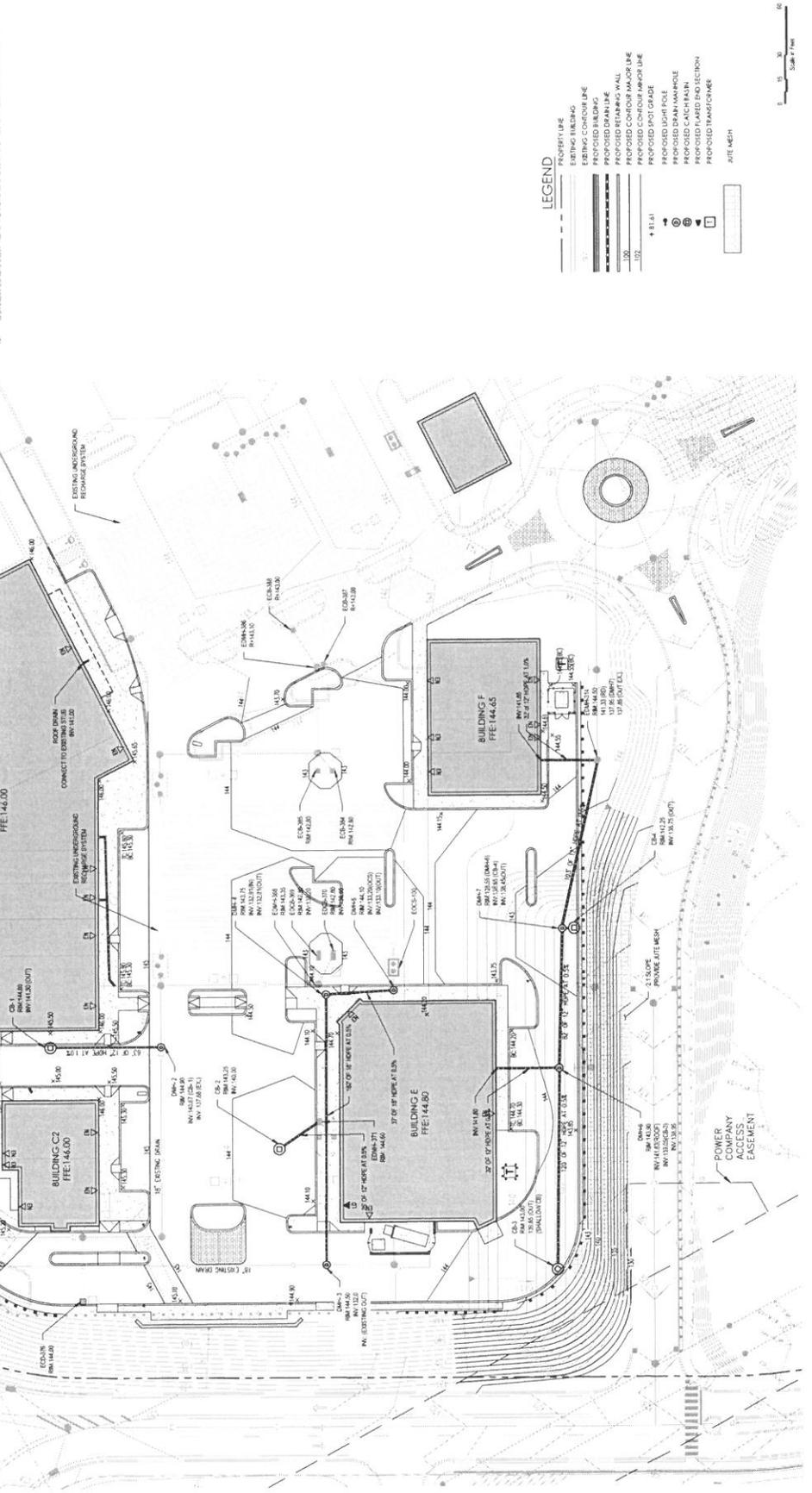
Building	Height	Setback	Required Setbacks	Approved/Provided	Proposed Modification
			Front <td>Side <td>Rear </td></td>	Side <td>Rear </td>	Rear
A	14	15.5	58.2	19.2	36
B	14	15.5	58.2	19.2	36
C	14	15.5	58.2	19.2	36
D	14	15.5	58.2	19.2	36
E	14	15.5	58.2	19.2	36
F	14	15.5	58.2	19.2	36
G	14	15.5	58.2	19.2	36
TOTAL PROVIDED			860	860	860
TOTAL REQUIRED					860

BUILDING SETBACKS

Building	Height	Setback	Required Setbacks	Approved/Provided	Proposed Modification
			Front <td>Side <td>Rear </td></td>	Side <td>Rear </td>	Rear
A	14	15.5	58.2	19.2	36
B	14	15.5	58.2	19.2	36
C	14	15.5	58.2	19.2	36
D	14	15.5	58.2	19.2	36
E	14	15.5	58.2	19.2	36
F	14	15.5	58.2	19.2	36
G	14	15.5	58.2	19.2	36
TOTAL PROVIDED			860	860	860
TOTAL REQUIRED					860

Notes: Building setbacks for constructed building shall be per construction plan. * Refer to Building Setback Ordinance for details.

- GRADING AND DRAINAGE NOTES**
1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (DOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
 2. ALL GRADING SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) SPECIFICATIONS FOR EROSION CONTROL, LATEST EDITION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.



LEGEND

- PROPERTY LINE
- EXISTING BUILDING
- EXISTING CONTOUR LINE
- PROPOSED BUILDING
- PROPOSED DRAIN LINE
- PROPOSED CONTOUR LINE
- PROPOSED CONTOUR MARKER LINE
- PROPOSED SPOT GRADE
- PROPOSED DRAIN HOLE
- PROPOSED DRAIN MANHOLE
- PROPOSED DRAIN COLLECTION
- PROPOSED TRANSFORMER
- ASITE MESH

4 8:1
 1"=30'
 0 15 30 45 60 Feet

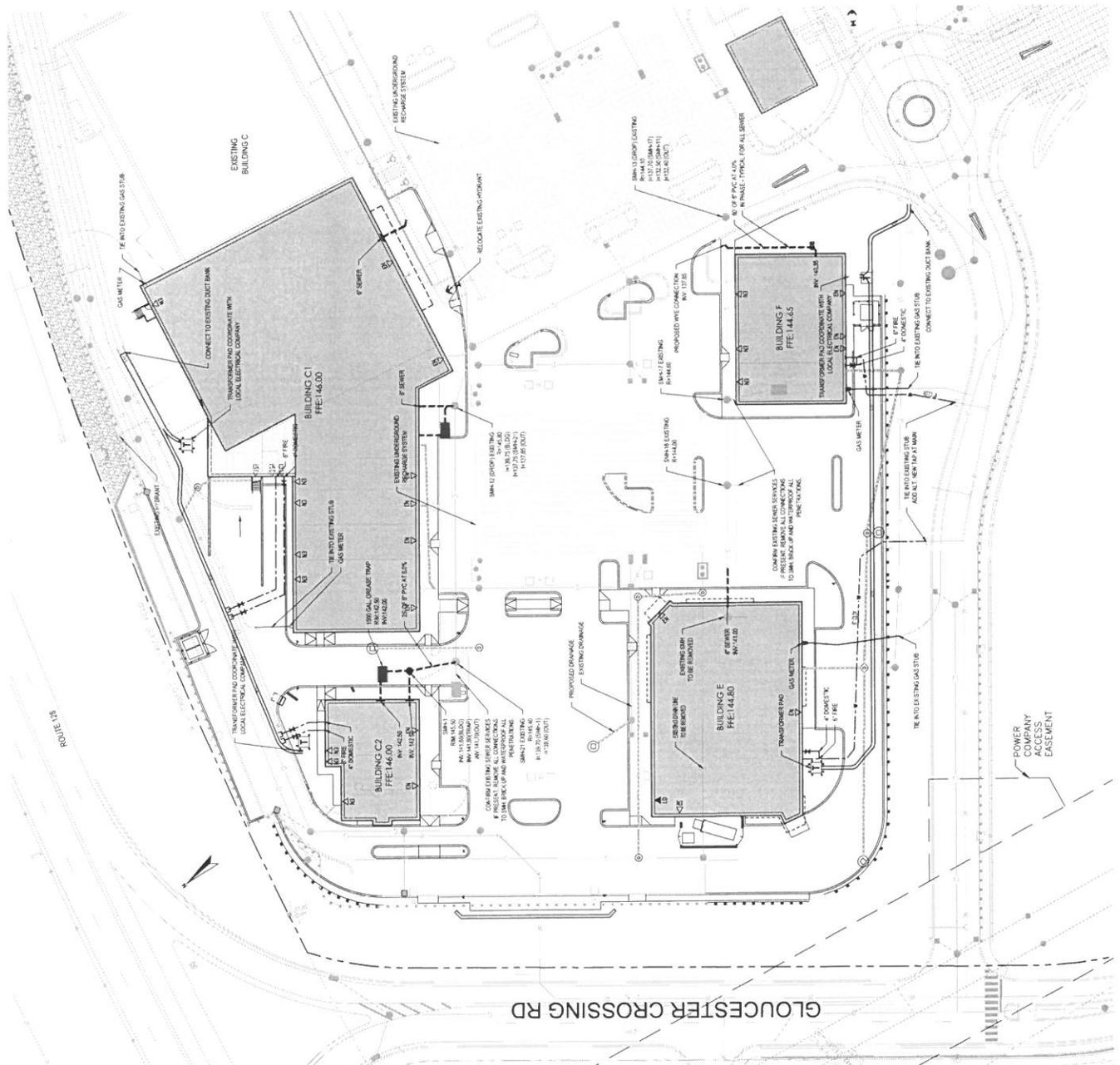
GRADING AND UTILITY NOTES

1. EXISTING CONDITIONS BASED ON RECORD DESIGN PLAN.
2. PRIOR TO START OF ANY EXCAVATION OR RECORD DESIGN PLAN, THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS WITH UTILITY OWNERS. ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN IDENTIFIED VERIFIED BY THE OWNER OR THE REGISTERED PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DURING THE CONSTRUCTION WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DURING THE CONSTRUCTION WORK.
4. CONTRACTORS SHALL THOROUGHLY EXAMINE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, CONSTRUCTION CONTRACT AND NOTICE OF PERMIT, AND LIFE SUPPORT OPERATIONS, AND PRIOR TO CONSTRUCTION.
5. ANY DISCREPANCIES BETWEEN THIS PLAN AND THE CONTRACTOR SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BEGINNING OF CONSTRUCTION.
6. ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE REQUIREMENTS AND REGULATIONS OF THE MUNICIPAL, STATE AND FEDERAL AND DEPARTMENT OF PUBLIC WORKS STANDARDS.
7. EXISTING MANHOLE SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS ARE NOT SHOWN OR ARE INCONCLUSIVE, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BEGINNING OF CONSTRUCTION.
8. CONTRACTORS SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BEGINNING OF CONSTRUCTION.
9. WHERE ANY EXISTING UTILITIES ARE FOUND TO INTERFERE WITH THE PROPOSED WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL ALTER THE MAJORITY OF THE TOP SECTION OF ALL EXISTING UTILITY LINES TO THE PROPOSED GRADE. ALL EXISTING UTILITY LINES SHALL BE REGRADED TO THE PROPOSED GRADE. ALL EXISTING UTILITY LINES SHALL BE REGRADED TO THE PROPOSED GRADE. ALL EXISTING UTILITY LINES SHALL BE REGRADED TO THE PROPOSED GRADE.
11. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
12. CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FRESH GRADE, AS NECESSARY ALL UTILITY AND STRUCTURES SUCH AS LIGHT POLES, SIGNPOLES, MANHOLES, CATCHBASINS, HAND HOLES, WATER MAINS, AND OTHER UTILITIES. ALL UTILITIES SHALL BE REGRADED TO THE PROPOSED GRADE. ALL EXISTING UTILITY LINES SHALL BE REGRADED TO THE PROPOSED GRADE. ALL EXISTING UTILITY LINES SHALL BE REGRADED TO THE PROPOSED GRADE.
13. ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, 18" x 36" AND 24" x 48" WITH HUBBER GASKET JOINTS.
14. SEE LIGHTING AND SIGNAGE FOR CONFORMANCE PURPOSES ONLY. REFER TO ELECTRICAL PLAN FOR LOCATION AND DETAIL.
15. REFER TO ELECTRICAL PLANS FOR LOCATION AND DETAIL OF THE UTILITY DUCT BANK.
16. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DEEMED BY THE CONTRACTOR OPERATIONS SHALL BE REGRADED TO THE PROPOSED GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO CONSTRUCTION.
17. REFER TO ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE DUES AT BUILDING.
18. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE DETERMINED BY THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO CONSTRUCTION.
19. ALL CENTER LINE DUCT BANKS SHALL BE LOCATED AT 24" DEPTH. ALL VALVES, SIZES, 22" VALVES, AND HYDRANT LATERALS SHALL BE LOCATED AT 24" DEPTH. ALL VALVES, SIZES, 22" VALVES, AND HYDRANT LATERALS SHALL BE LOCATED AT 24" DEPTH. ALL VALVES, SIZES, 22" VALVES, AND HYDRANT LATERALS SHALL BE LOCATED AT 24" DEPTH.
20. PROJECT AND MAINTENANCE CHIEF SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL UTILITY SERVICES.
21. REFER TO UTILITY PLAN SHEET C101, FOR DETAILED DRAINAGE INFORMATION.

LEGEND

- PROPERTY LINE
- EXISTING BUILDING
- EXISTING WATER SERVICE
- EXISTING SEWER SERVICE
- EXISTING GROUND LINE
- PROPOSED DRAIN LINE
- PROPOSED CONDUIT MAJOR PIPE
- PROPOSED CONDUIT MINOR PIPE
- PROPOSED SERVICE
- PROPOSED WATER SERVICE
- PROPOSED BUILDING ENTRY POINT
- PROPOSED SEWER SERVICE
- PROPOSED GAS SERVICE
- PROPOSED LIGHT POLE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED WATER MAINHOLE
- PROPOSED CLEAN OUT
- PROPOSED HYDRANT
- PROPOSED TRANSFORMER

Scale: 1" = 30'



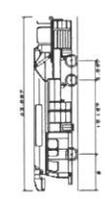
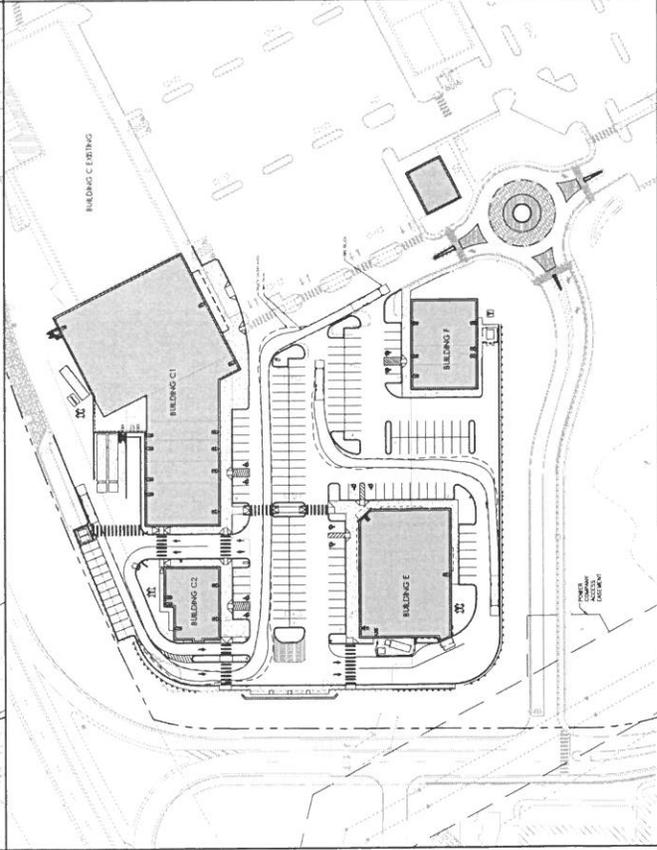
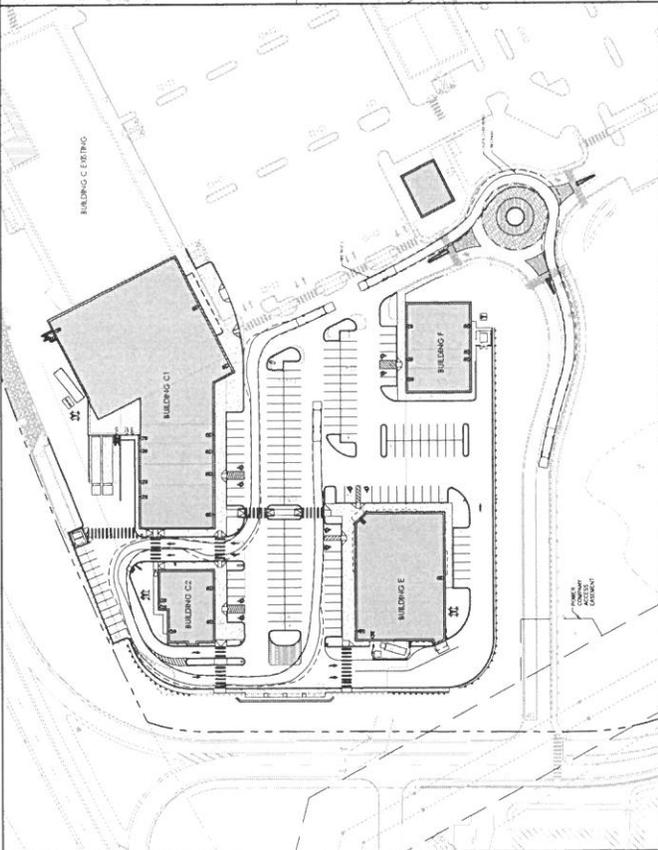
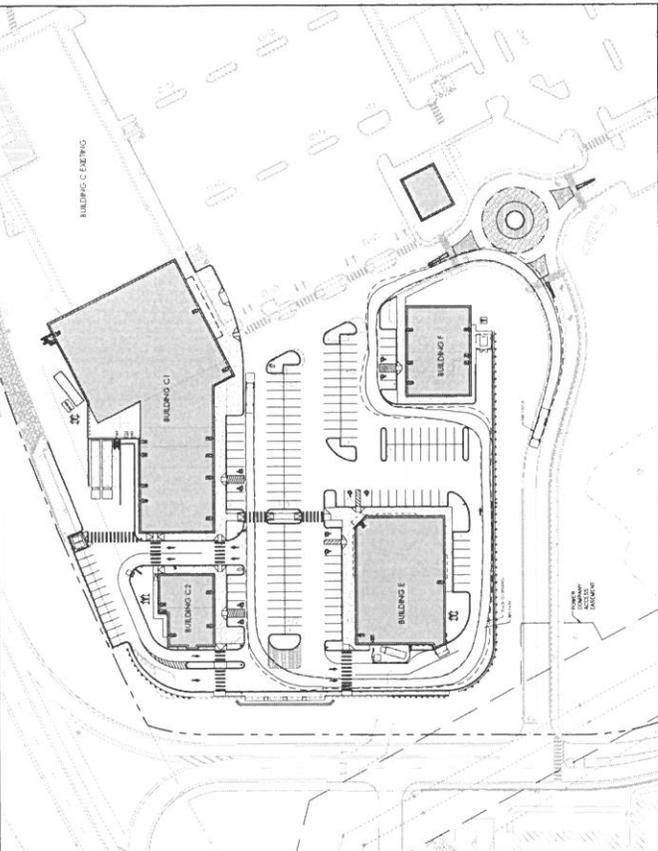
Scale: 1" = 100'
 Date: 10/1/2018
 Project: Gloucester Crossing Phase 2
 Sheet: C104

ISSUED FOR PERMIT REVIEW
 OCTOBER 1, 2018
 FIRE TRUCK
 CIRCULATION PLAN



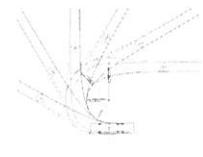
PROJECT: GLOUCESTER CROSSING PHASE 2
 ROUTE 128 GLOUCESTER, MA
 CLIENT: GLOUCESTER COMMONS, LLC
 330 SCHOOL STREET SUITE 200 MANSFIELD MA 02048

COMPLEX NAME: GLOUCESTER CROSSING PHASE 2
 ARCHITECT: HANSTRATGRIFFS



GLOUCESTER FIRE TRUCK - LADDER TRUCK
 Overall Length 45'-0"
 Overall Body Height 10'-5 1/8"
 Truck Width 8'-0"
 Max Steering Angle (Virtual) 37.60°

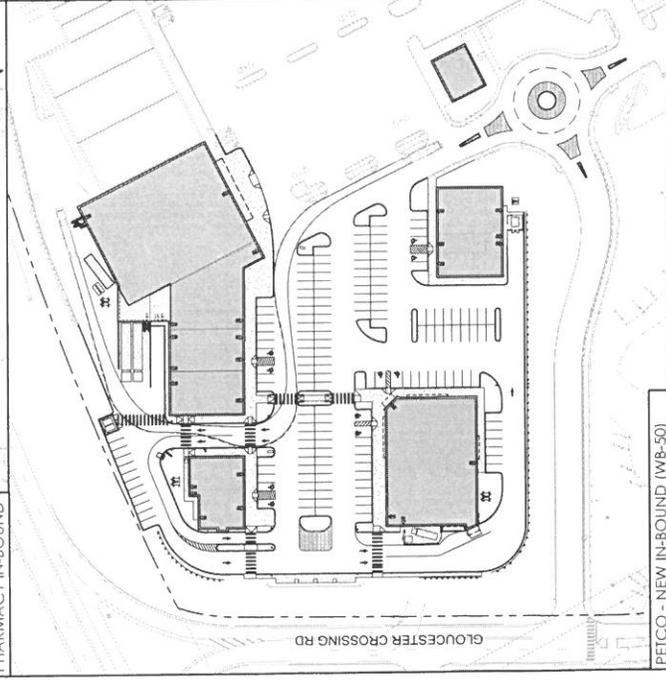
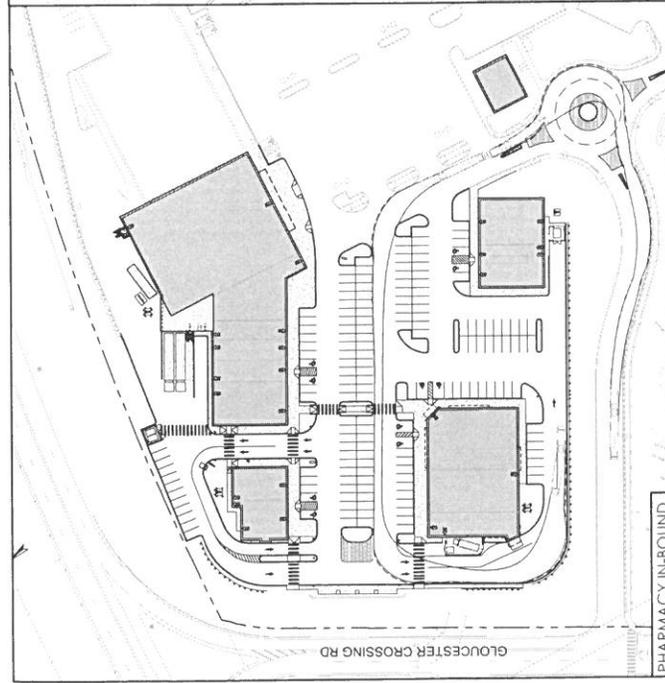
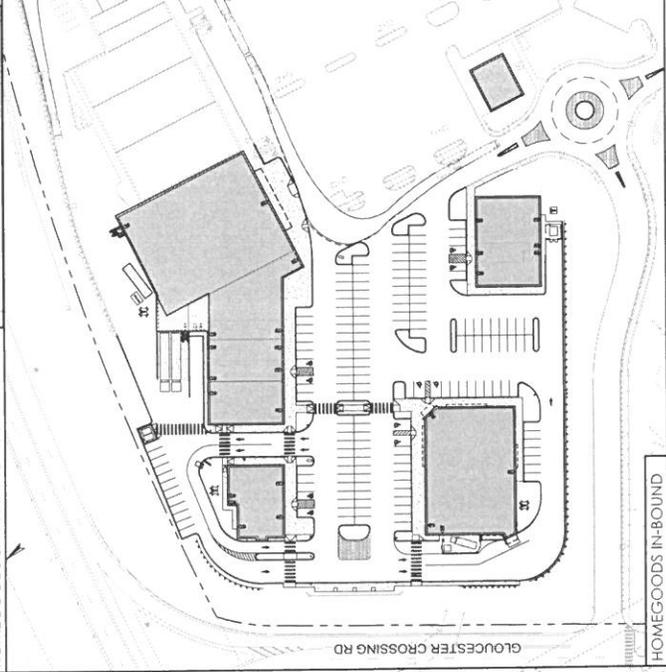
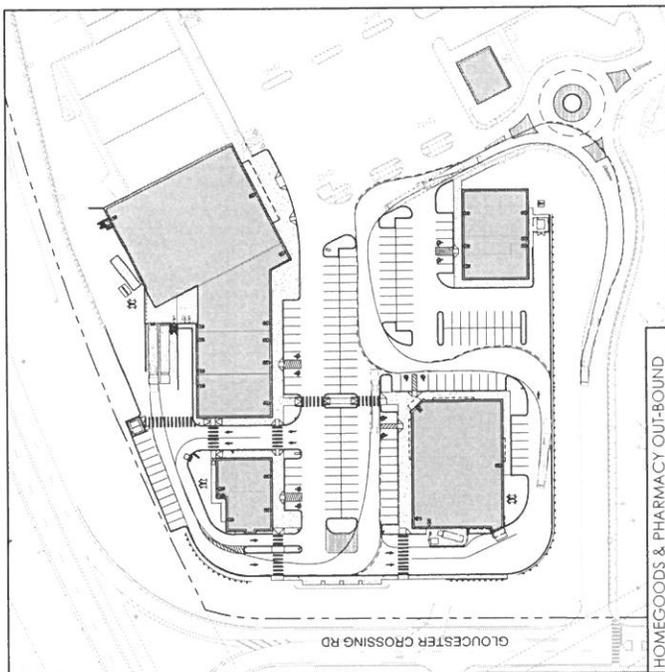
LADDER TRUCK DIMENSIONS
 (NOT TO SCALE)



LADDER TRUCK TURNING TEMPLATE
 SCALE 1/8" = 1'-0"

Scale: 1" = 100'
 Date: 10/1/2018
 Project: Gloucester Crossing Phase 2
 Sheet: C104

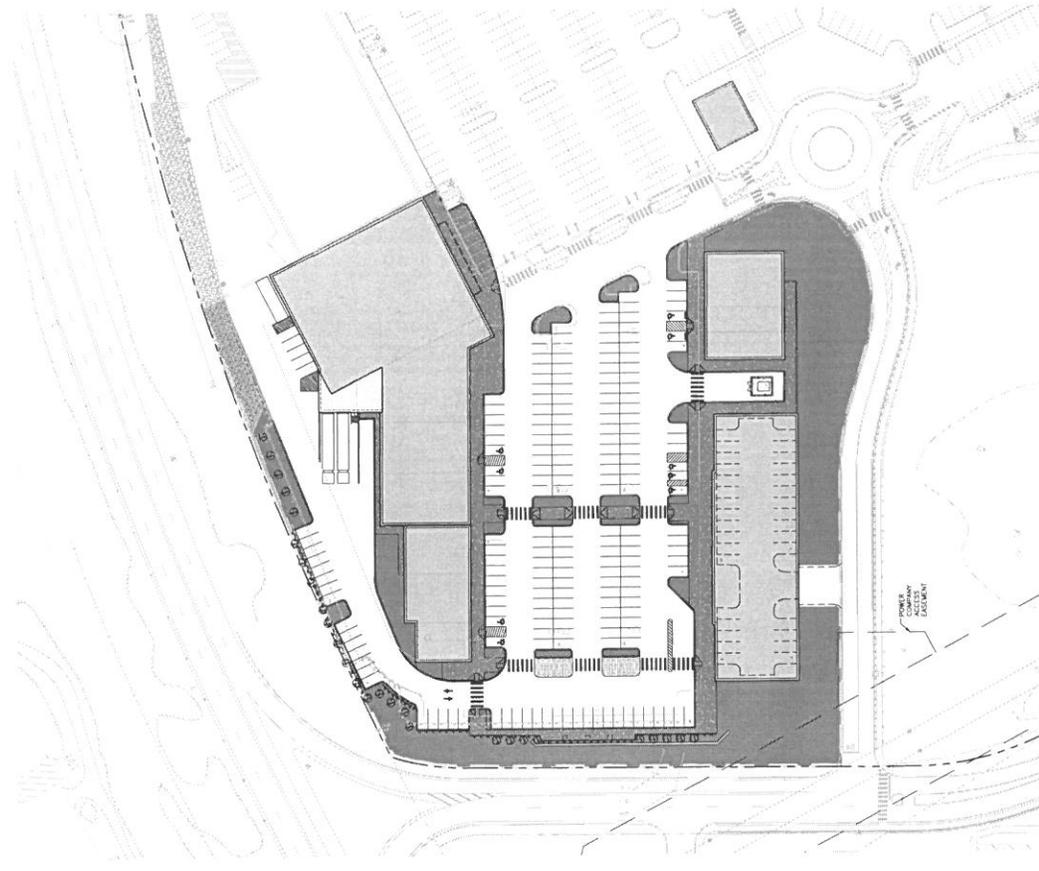
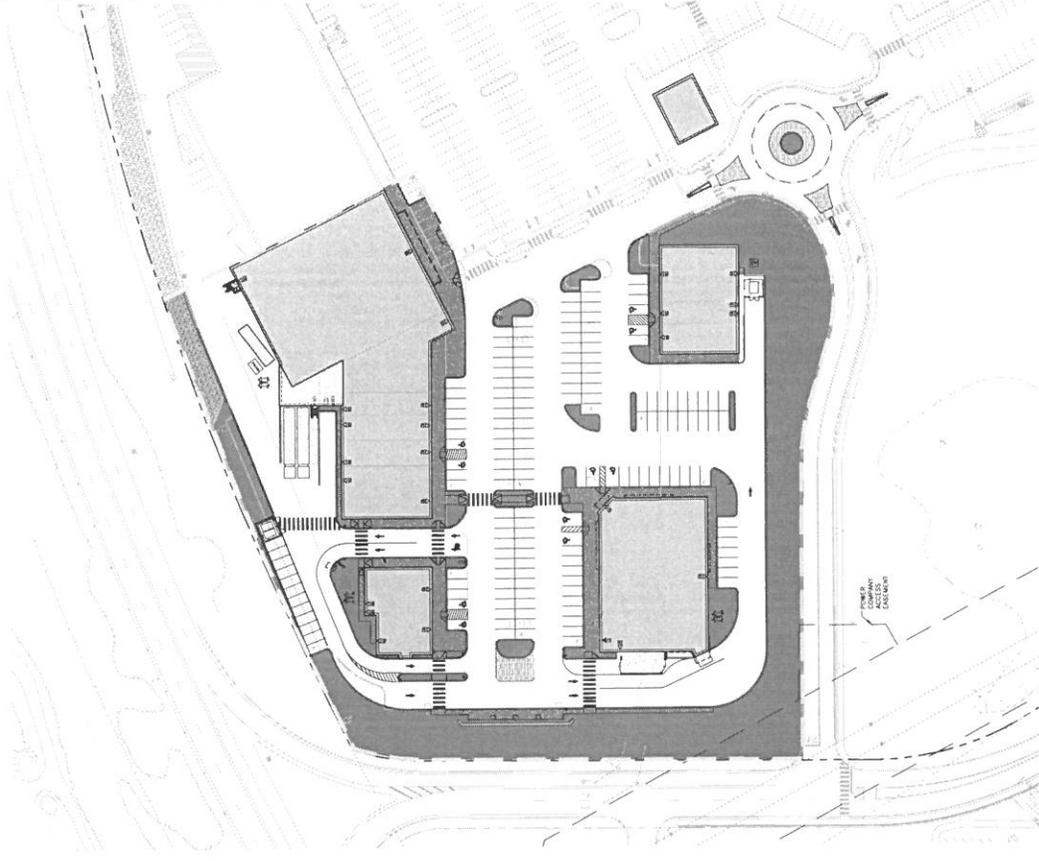
PROJECT ROUTE 128 GLOUCESTER, MA GLOUCESTER COMMONS, LLC 330 SCHOOL STREET SUITE 200 MANSFIELD MA 02048	CLIENT / ARCHITECT LANDSTRATTON 1000 WASHINGTON STREET, SUITE 200 WASHINGTON, MA 01890 TEL: 508-885-1100 FAX: 508-885-1101 WWW.LANDSTRATTON.COM	SCALE 1" = 40' DATE 10-01-18 DRAWN 15-002, 10005, 10006 CHECKED LP SHEET NO. C105	TRUCK CIRCULATION PLAN ISSUED FOR PERMIT REVIEW OCTOBER 1, 2018



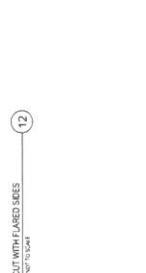
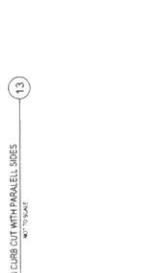
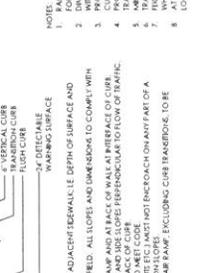
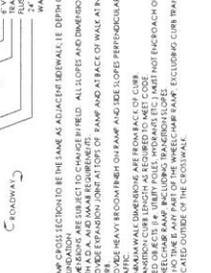
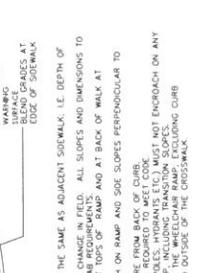
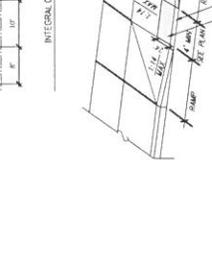
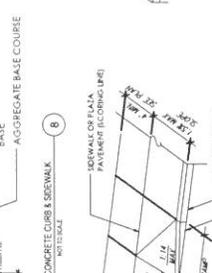
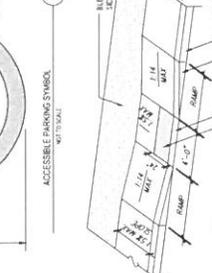
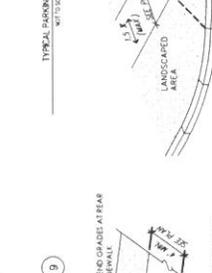
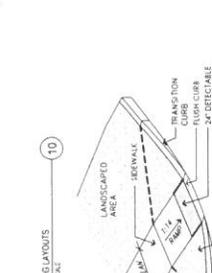
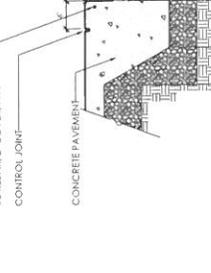
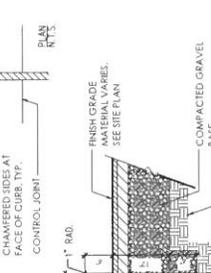
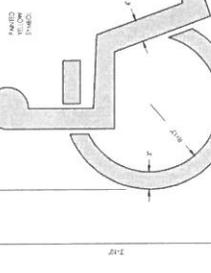
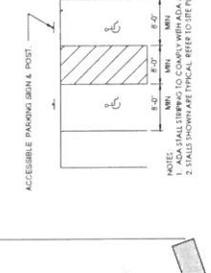
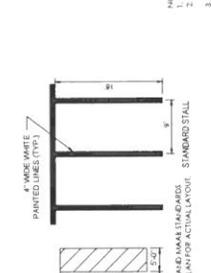
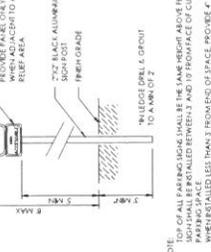
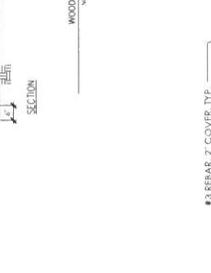
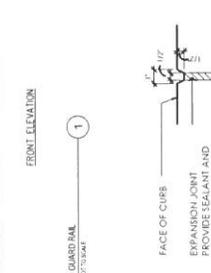
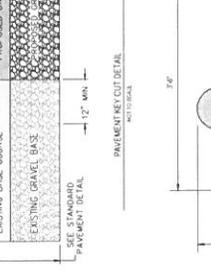
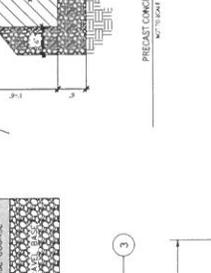
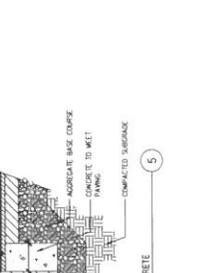
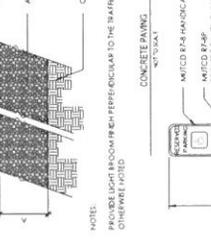
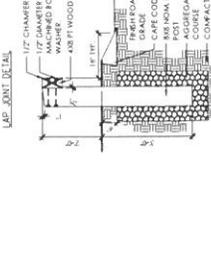
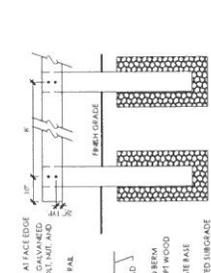
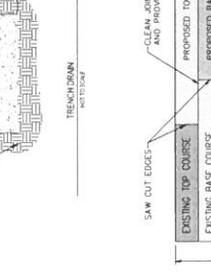
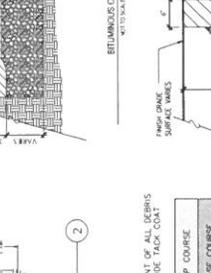
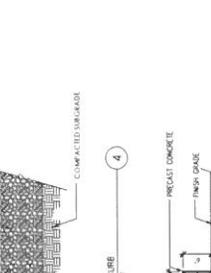
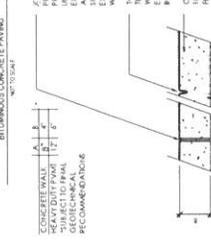
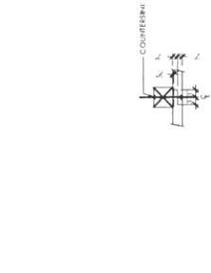
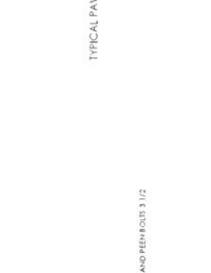
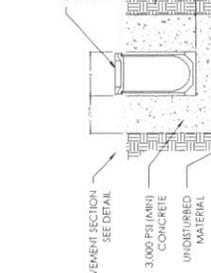
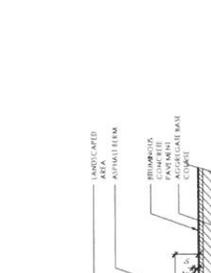
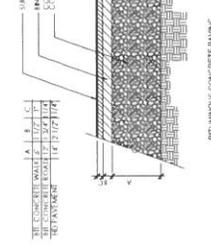
Scale: 1" = 40'

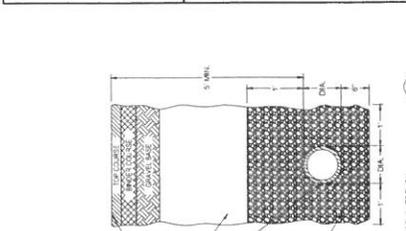
PETCO - NEW IN-BOUND (WB-50)

CONSULTANT HANSTRATGOLD <small>INCORPORATED</small> <small>100 STATE STREET, SUITE 200, BOSTON, MA 02109</small> <small>TEL: 617.552.3000 FAX: 617.552.3001</small>	PROJECT GLoucester Crossing Phase 2 <small>ROUTE 128 GLOUCESTER, MA</small>	CLIENT / ARCHITECT GLoucester Commons, LLC <small>330 SCHOOL STREET SUITE 200 MANSFIELD MA 02048</small>	SCALE ISSUED FOR PERMIT REVIEW OCTOBER 1, 2018	COMPARISON PLAN OPEN SPACE		SCALE 1" = 50' DATE 15-002 REV 15-002 (209 Rev) NO. 2 SHEET NO. C-106
	PROJECT GLoucester Crossing Phase 2 <small>ROUTE 128 GLOUCESTER, MA</small>	CLIENT / ARCHITECT GLoucester Commons, LLC <small>330 SCHOOL STREET SUITE 200 MANSFIELD MA 02048</small>	SCALE ISSUED FOR PERMIT REVIEW OCTOBER 1, 2018	COMPARISON PLAN OPEN SPACE		SCALE 1" = 50' DATE 15-002 REV 15-002 (209 Rev) NO. 2 SHEET NO. C-106

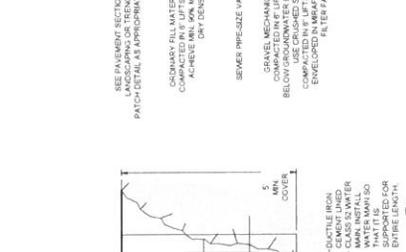


PROJECT: GLOUCESTER CROSSING PHASE 2
 CLIENT: GLOUCESTER COMMONS, LLC
 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048
 CONTRACT NO. 15-002-2026LSP-02
 DRAWING NO. C201

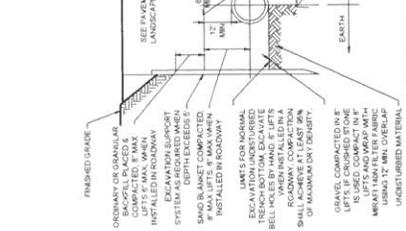




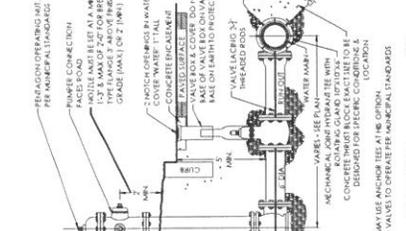
1 CONCRETE RETAINING WALL WITH VENEER
NOT TO SCALE



2 TYPICAL INVERT
NOT TO SCALE



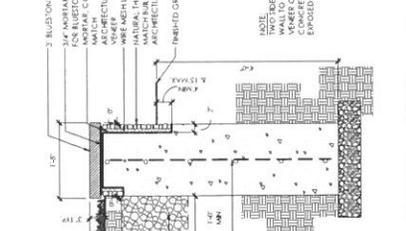
3 WATER TRENCH
NOT TO SCALE



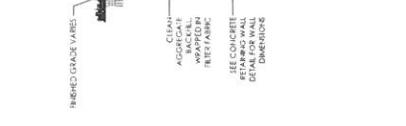
4 SEWER LID AND TRENCH
NOT TO SCALE



5 BRICK INVERT SECTION FOR SEWER MANHOLES
NOT TO SCALE



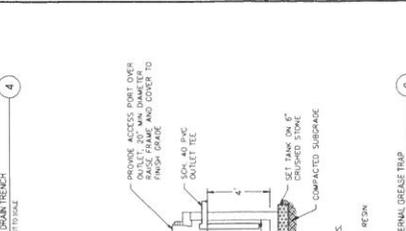
6 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



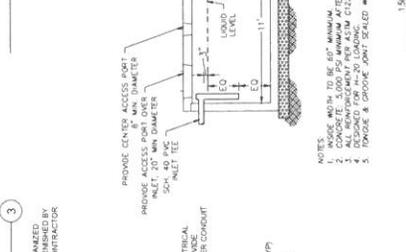
7 1500 GAL EXTERNAL GREASE TRAP
NOT TO SCALE



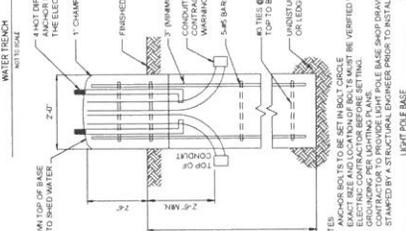
8 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



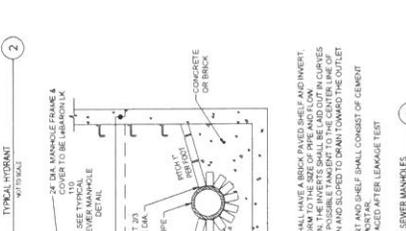
9 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



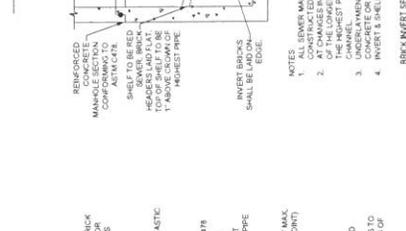
10 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



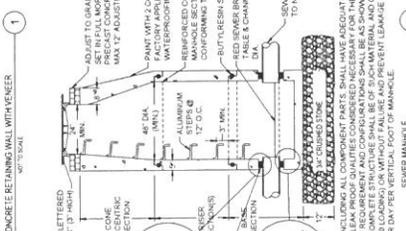
11 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



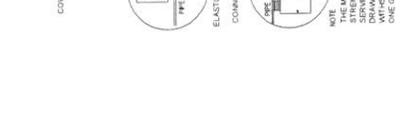
12 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



13 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



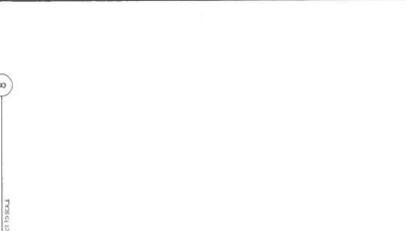
14 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



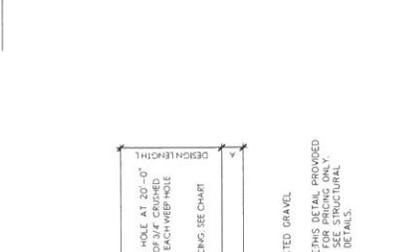
15 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



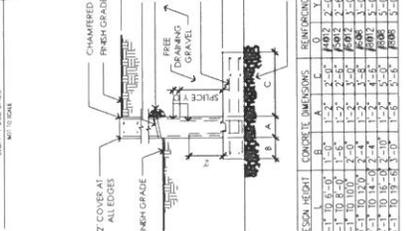
16 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



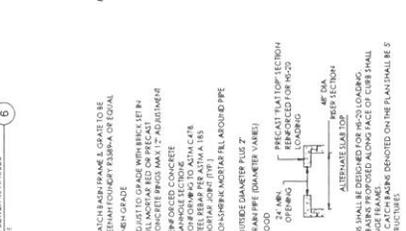
17 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



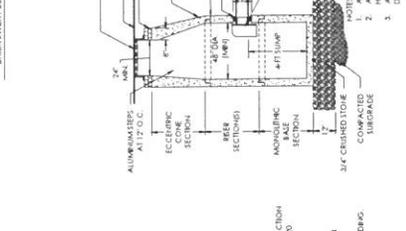
18 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



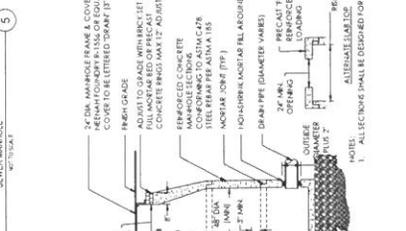
19 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



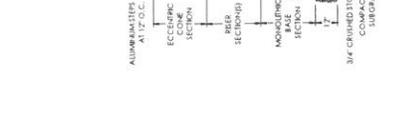
20 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



21 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



22 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



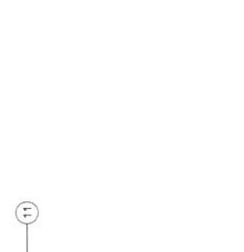
23 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



24 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



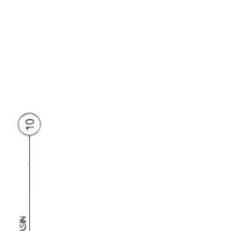
25 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



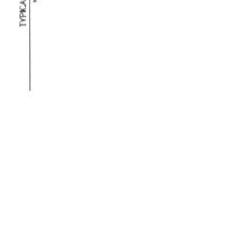
26 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



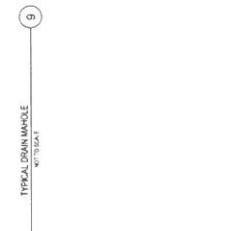
27 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



28 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



29 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



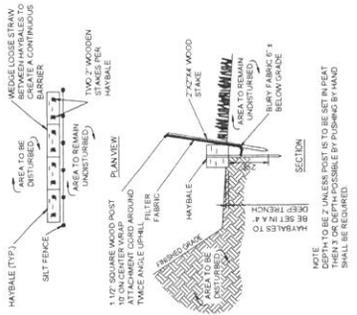
30 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



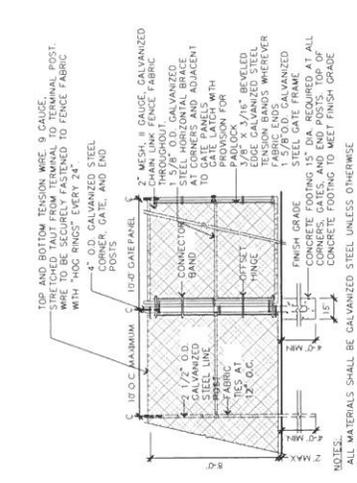
31 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



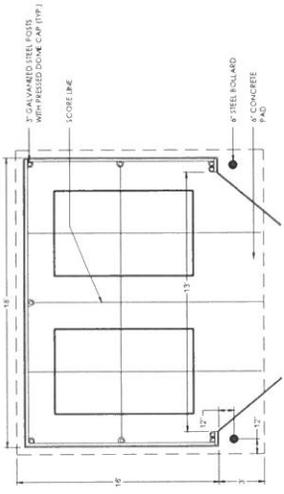
32 TYPICAL SECTION FOR SEWER MANHOLES
NOT TO SCALE



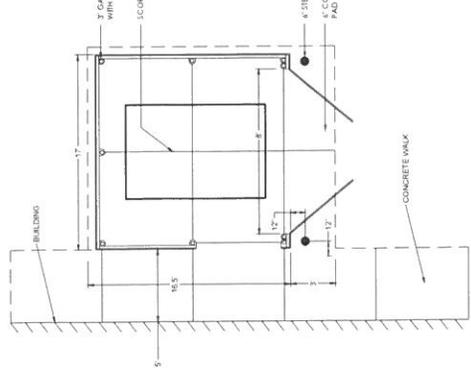
1
 HAYBALE BARRIER DETAIL
NOT TO SCALE



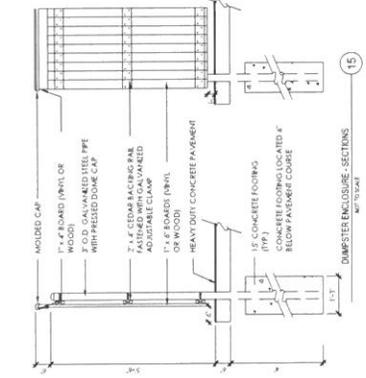
2
 8' CHAIN LINK CONSTRUCTION FENCE AND GATE
NOT TO SCALE



4
 STARBUCKS DUMPSTER ENCLOSURE - PLAN VIEW
NOT TO SCALE



5
 BUILDING DUMPSTER ENCLOSURE - PLAN VIEW
NOT TO SCALE



15
 DUMPSTER ENCLOSURE - SECTIONS
NOT TO SCALE

A101

SHEET NO.

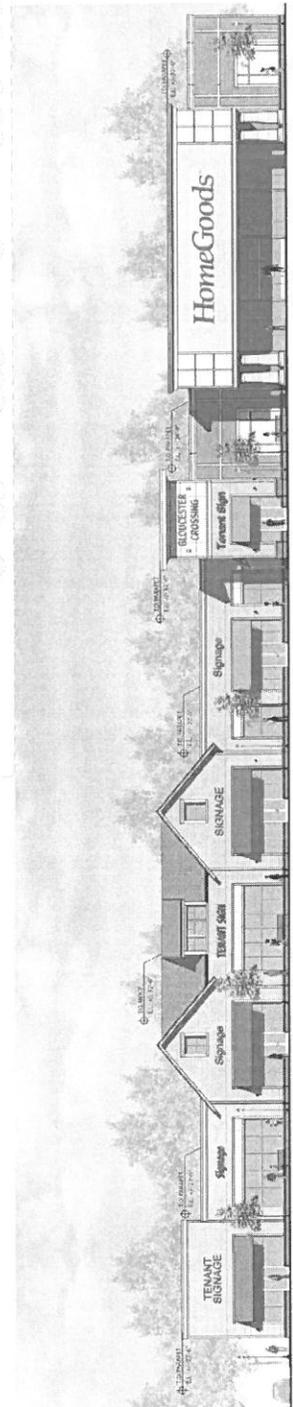
BUILDING C ELEVATIONS

ISSUED FOR PERMIT REVIEW
OCTOBER 1, 2018

PROJECT: GLOUCESTER CROSSING PHASE 2
CLIENT: AMERICAN GLOUCESTER COMMONS, LLC
333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048

LANDSTRATEGIES

CONSULTANT



LANDSTRATEGIES CONSULTANTS 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048	PROJECT: GLOUCESTER CROSSING PHASE 2	CLIENT: GLOUCESTER COMMONS, LLC 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048	DATE: OCTOBER 1, 2018	ISSUED FOR PERMIT REVIEW BUILDING C2 ELEVATIONS
	PROJECT: GLOUCESTER COMMONS, LLC 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048	CLIENT: GLOUCESTER COMMONS, LLC 333 SCHOOL STREET SUITE 200 MANSFIELD MA 02048	DATE: OCTOBER 1, 2018	ISSUED FOR PERMIT REVIEW BUILDING C2 ELEVATIONS

A102

SHEET NO.

CREATED

DATE

BY

FILE

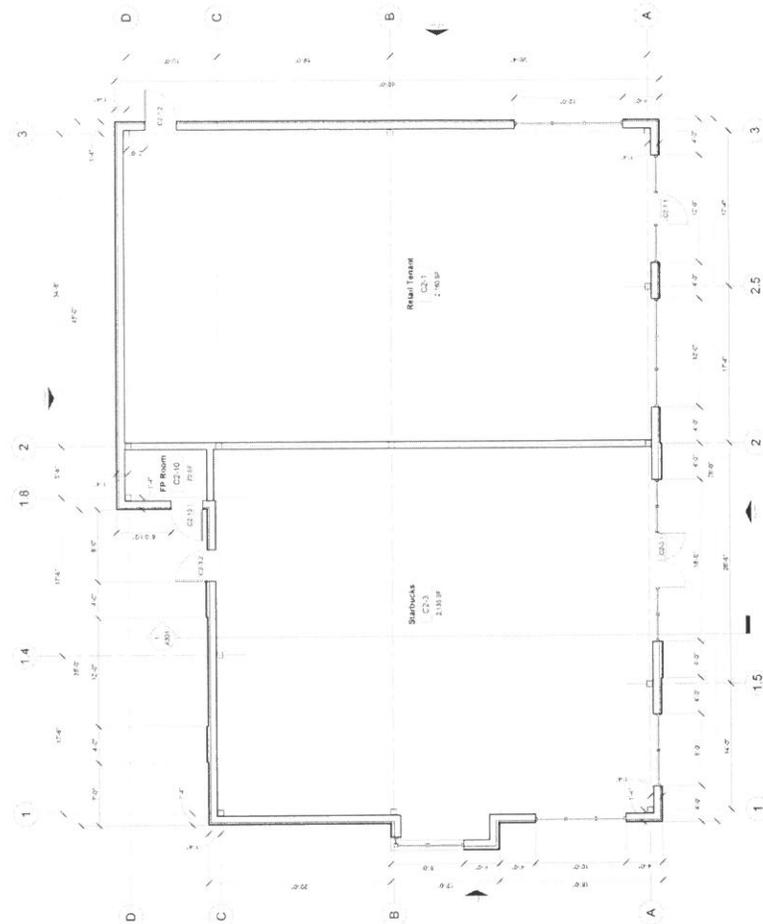
PROJECT

NO.

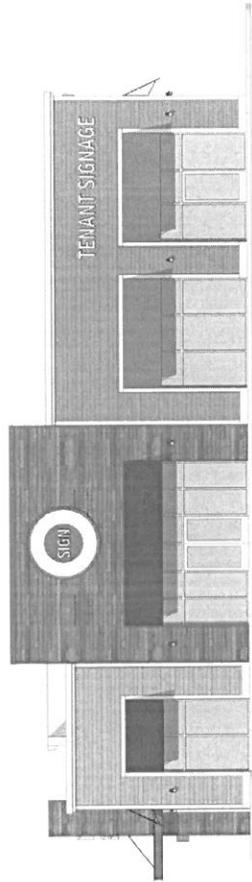
REV

DATE

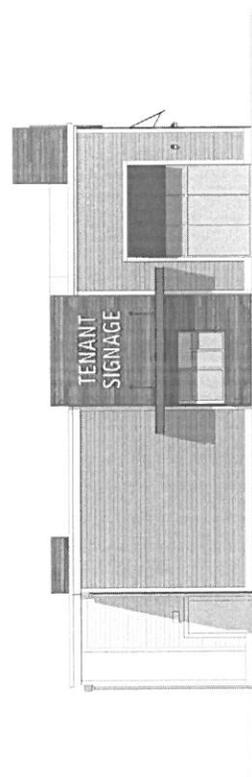
FIRST FLOOR PLAN



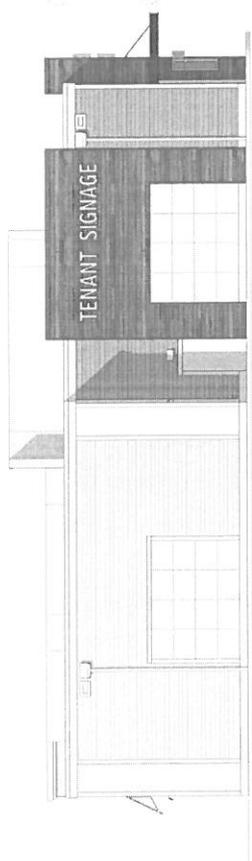
SOUTH ELEVATION



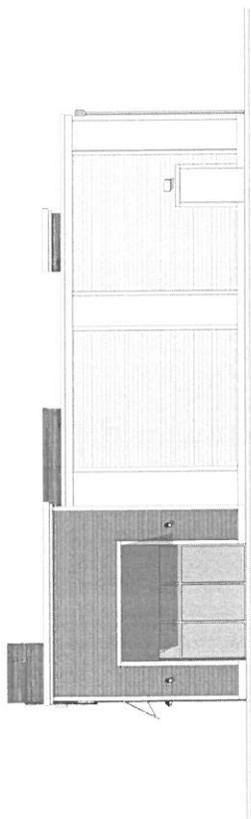
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



NOTE: ELEVATION DRAWINGS PREPARED BY HFA, HARRISON HECHT & ASSOCIATES, LTD.
NOT FOR CONSTRUCTION.







MEMORANDUM

TO: Mr. Peter Kutrubes.
Gloucester Commons, LLC

FROM: Kenneth P. Cram, P.E.

CC:

DATE: September 28, 2018

RE: Proposed Gloucester Crossing Site Modifications
Gloucester, MA

RECEIVED

OCT - 2 2018

**COMMUNITY DEVELOPMENT
CITY OF GLOUCESTER**

This memorandum has been prepared to assess the traffic impact associated with the modification of the existing Gloucester Crossing shopping Center on Route 128 in Gloucester, Massachusetts. This assessment has reviewed the current approved plan and the proposed plan changes, performed an assessment of the expected change in site traffic generation and reviewed the City of Gloucester Zoning Regulations as they affect the two proposed drive-throughs contained within the proposed site modifications. Based on a review of the site modifications and their projected traffic generation, the site modifications will not generate a significant increase in traffic volume.

PROJECT DESCRIPTION

The existing site is located on the south side of Route 128, east of Blackburn Circle and School House Road. Currently, the site is abutted by residences to the east, Route 128 to the north and School House Road to the west. Currently, Gloucester Crossing is approved for approximately 188,400 square feet (sf) of retail space with a 100 room extended stay hotel and an 80 to 100 room assisted-living facility. Access to Gloucester Crossing is provided by a right-turn in/out only driveway to Route 128 and by way of School House Road.

The site modifications include an increase and minor re-configuration of the un-constructed portion of the site in the northwest corner of the site. These modifications include the removal of the hotel and a minor increase in the retail space (approximately 11,600 sf). It is anticipated that the new square footage would include a coffee shop with a drive-through and a retail use with a drive-through (such as a pharmacy or bank). Under the new proposed conditions, access will continue to be provided by the right-turn in/out only driveway to Route 128 and by way of School House Road. Figure 1 shows the site in relation to the roadway network.



Figure 1
Site Location Map

SITE TRAFFIC GENERATION

Site generated traffic was based on trip-generation data published by the ITE *Trip Generation* manual¹. The trip generation data for Land Use Code (LUC) 312 – Business Hotel and LUC 820 – Shopping Center published by the ITE was evaluated to determine the trip generation for the current and proposed project. The trip generation for the current and proposed project is summarized in Table 1. The trip generation worksheets are included in the Appendix.

¹ *Trip Generation*, Tenth Edition; Institute of Transportation Engineers; Washington, DC; 2017.



**TABLE 1
TRIP-GENERATION SUMMARY COMPARISON**

	Current Approved Plan			Proposed Plan
	Hotel Trips ^a	Retail Trips ^b	Total Trips	Total Proposed Trips ^b
Average Weekday Daily Traffic	442	9,248	9,690	9,632
<i>Weekday Morning Peak Hour:</i>				
Entering	16	153	169	156
<u>Exiting</u>	<u>23</u>	<u>93</u>	<u>116</u>	<u>96</u>
Total	39	246	285	252
<i>Weekday Evening Peak Hour:</i>				
Entering	18	417	435	436
<u>Exiting</u>	<u>14</u>	<u>451</u>	<u>465</u>	<u>472</u>
Total	32	868	900	908
Saturday Daily Traffic	580	13,200	13,780	13,698
<i>Saturday Midday Peak Hour:</i>				
Entering	22	531	553	556
<u>Exiting</u>	<u>24</u>	<u>490</u>	<u>514</u>	<u>514</u>
Total	46	1,021	1,067	1,070

^aBased on LUC 312 – Business Hotel, 100 rooms.
^bBased on LUC 820 – Shopping Center, 188,400 sf.
^cBased on LUC 820 – Shopping Center, 200,000 sf.

On a typical weekday, with the proposed site modifications, Gloucester Crossing is projected to generate approximately 60 fewer daily trips and approximately 80 fewer trips on a Saturday. During the weekday morning peak hour, Gloucester Crossing is projected to generate approximately 30 fewer trips. During the weekday evening peak and Saturday midday peak hours, Gloucester Crossing is projected to generate approximately the same amount of trips with the proposed site modifications.



DRIVE THROUGH OPERATIONS

As indicated previously, there will be two drive-through lanes added for two particular uses. The proposed coffee shop would have one drive-through and the proposed retail use would have the second drive-through.

The potential coffee shop drive-through has been designed to accommodate approximately eleven (11) vehicles in a separate queue. There is a by-pass lane provided, which would allow a vehicle to exit the drive-through lane if they do not want to wait in queue, and bypass the queue and enter the parking field. Based on observations of vehicle queues at other coffee shops, the projected eleven (11) car queue will be more than adequate to handle the expected demand. This queue will not affect operations on either Route 128 or School House Road, as these two roads provide the primary access to the site. Sight lines were reviewed for vehicles exiting the drive-through into the parking field and found to be adequate for safe operation.

The second drive-through was assumed to be for a pharmacy, as pharmacies would represent the land use with the most conservative demand. For a pharmacy, five (5) cars would be provided for in the drive-through lane, which would be more than adequate to handle the demand for a pharmacy. Observations of other pharmacies indicate that generally the maximum queue is two or three vehicles. As five (5) vehicles are provided for, and a bypass lane also exists, the five (5) car queue length provided would be adequate to serve a pharmacy. Again, the queue for a pharmacy would not affect operations on either Route 128 or School House Road, as these two roads provide the primary access to the overall site. Sight lines were also reviewed for vehicles exiting the drive-through. For this drive-through, safe operation is expected as all traffic must turn left out of the drive through, into one-way flow behind the building into the parking field.

The City of Gloucester Zoning Ordinance was reviewed relative to drive-through lanes (Section 5.17). The proposed drive-through lanes meet the requirements identified for stacking in terms of length, width and delineation. A by-pass lane is provided for both drive-through lanes.

CONCLUSION

On a typical weekday, with the proposed site modifications, Gloucester Crossing is projected to generate approximately 60 fewer daily trips and approximately 80 fewer trips on a Saturday. During the weekday morning peak hour, Gloucester Crossing is projected to generate approximately 30 fewer trips. During the weekday evening peak and Saturday midday peak hours, Gloucester Crossing is projected to generate approximately the same amount of trips with the proposed site modifications.

The projected queues from the coffee shop or a pharmacy drive-through will not affect operations on either Route 128 or Schoolhouse Road. There is adequate queue length in each respective drive-through to handle the expected demand.



APPENDIX

TRAFFIC GENERATION WORKSHEETS



TRAFFIC GENERATION WORKSHEETS

Proposed Extended Stay Hotel, Gloucester, MA

Land Use Code (LUC) 312 - Business Hotel

Source : Institute of Transportation Engineers (ITE) Trip Generation, 10th Edition

Average Vehicle Trips Ends vs.: Rooms
Independent Variable (X): 100 rooms

AVERAGE WEEKDAY DAILY

$T = 2.90 * (X) + 151.69$ $R^2 = 0.89$
 $T = 2.90 * (100) + 151.69$ 10 Studies, Avg. No. of rooms = 136
 $T = 441.69$ Avg. Rate = 4.02 trips/room
 $T = 442$ vehicle trips
with 50% (221 vpd) entering and 50% (221 vpd) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$T = 0.35 * (X) + 4.40$ $R^2 = 0.52$
 $T = 0.35 * (100) + 4.40$ 18 Studies, Avg. No. of rooms = 121
 $T = 39.40$ Avg. Rate = 0.39 trips/room
 $T = 39$ vehicle trips
with 42% (16 vph) entering and 58% (23 vph) exiting.
0.16 0.23

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$\ln T = 0.95 \ln (X) - 0.76$ $R^2 = 0.62$
 $\ln T = 0.95 \ln (100.00) - 0.76$ 11 Studies, Avg. No. of rooms = 138
 $\ln T = 3.61$ Avg. Rate = 0.38 trips/room
 $T = 37.15$
 $T = 37$ vehicle trips
with 43% (16 vph) entering and 57% (21 vph) exiting.
0.16 0.21

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$T = 0.32 * (X)$ $R^2 = \text{Not Given}$
 $T = 0.32 * (100)$ 23 Studies, Avg. No. of rooms = 119
 $T = 32.00$ Avg. Rate = 0.32 trips/room
 $T = 32$ vehicle trips
with 55% (18 vph) entering and 45% (14 vph) exiting.

WEEKDAY EVENING PEAK HOUR OF GENERATOR

$\ln T = 0.53 \ln (X) + 1.34$ $R^2 = 0.56$
 $\ln T = 0.53 \ln (0.00) + 1.34$ 11 Studies, Avg. No. of rooms = 138
 $\ln T = 3.78$ Avg. Rate = 0.37 trips/room
 $T = 43.85$
 $T = 44$ vehicle trips
with 59% (26 vph) entering and 41% (18 vph) exiting.
21.00 20.00

Proposed Extended Stay Hotel, Gloucester, MA

Land Use Code (LUC) 312 - Business Hotel

Source : Institute of Transportation Engineers (ITE) Trip Generation, 10th Edition

Average Vehicle Trips Ends vs.: Rooms

Independent Variable (X): 100 rooms

SATURDAY DAILY

$T = 5.79 * (X)$ $R^2 = \text{Not Given}$
 $T = 5.79 * (100)$ 3 Studies, Avg. No. of rooms = 105
 $T = 579.00$ Avg. Rate = 5.79 trips/room
 $T = 580$ vehicle trips
with 50% (290 vpd) entering and 50% (290 vpd) exiting.

SATURDAY MIDDAY PEAK HOUR OF GENERATOR

$T = 0.42 * (X) + 3.74$ $R^2 = 0.68$
 $T = 0.42 * (100) + 3.74$ 5 Studies, Avg. No. of rooms = 93
 $T = 45.74$ Avg. Rate = 0.46 trips/room
 $T = 46$ vehicle trips
with 48% (22 vpd) entering and 52% (24 vpd) exiting.

SUNDAY DAILY

$T = 4.43 * (X)$ $R^2 = \text{Not Given}$
 $T = 4.43 * (100)$ 3 Studies, Avg. No. of rooms = 105
 $T = 443.00$ Avg. Rate = 4.43 trips/room
 $T = 443$ vehicle trips
with 50% (222 vpd) entering and 50% (221 vpd) exiting.

SUNDAY MIDDAY PEAK HOUR OF GENERATOR

$T = 0.46 * (X)$ $R^2 = \text{Not Given}$
 $T = 0.46 * (100)$ 3 Studies, Avg. No. of rooms = 105
 $T = 46.00$ Avg. Rate = 0.46 trips/room
 $T = 46$ vehicle trips
with 46% (21 vpd) entering and 54% (25 vpd) exiting.

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 188.400 ksf

AVERAGE WEEKDAY DAILY

$$\ln T = 0.68 \ln (X) + 5.57$$

$$R^2 = 0.76$$

$$\ln T = 0.68 \ln (188.400) + 5.57$$

147 Studies, Avg size = 453

$$\ln T = 9.13$$

$$T = 9248.58 \quad (\text{Avg Rate} = 37.75 \text{ trips/ksf})$$

$$T = 9,248 \quad \text{vehicle trips} \quad (\text{Rate} = 49.09 \text{ trips/ksf})$$

with 50% (4,624 vpd) entering and 50% (4,624 vpd) exiting.

24.55

24.55

49.09

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.50 * (X) + 151.78$$

$$R^2 = 0.50$$

$$T = 0.50 * (188.400) + 151.78$$

84 Studies, Avg size = 351 ksf

$$T = 245.98$$

$$(\text{Avg Rate} = 0.94 \text{ trips/ksf})$$

$$T = 246 \quad \text{vehicle trips}$$

$$(\text{Rate} = 1.306 \text{ trips/ksf})$$

with 62% (153 vph) entering and 38% (93 vph)

0.81

0.50

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$$T = 2.76 * (X) + 77.28$$

$$R^2 = 0.71$$

$$T = 2.76 * (188.400) + 77.28$$

47 Studies, Avg size = 323 ksf

$$T = 597.26$$

$$(\text{Avg Rate} = 3 \text{ trips/ksf})$$

$$T = 597 \quad \text{vehicle trips}$$

$$(\text{Rate} = 3.169 \text{ trips/ksf})$$

with 54% (322 vph) entering and 46% (275 vph)

1.71

1.46

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.74 \ln (X) + 2.89$$

$$R^2 = 0.82$$

$$\ln T = 0.74 \ln (188.400) + 2.89$$

261 Studies, Avg size = 327

$$\ln T = 6.77$$

$$T = 868.30 \quad (\text{Avg Rate} = 3.81 \text{ trips/ksf})$$

$$T = 868 \quad \text{vehicle trips} \quad (\text{Rate} = 4.607 \text{ trips/ksf})$$

with 48% (417 vph) entering and 52% (451 vph) exiting.

2.21

2.40

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.72 \ln (X) + 3.02$$

$$R^2 = 0.76$$

$$\ln T = 0.72 \ln (188.400) + 3.02$$

53 Studies, Avg size = 298

$$\ln T = 6.79$$

$$T = 890.49 \quad (\text{Avg Rate} = 4.21 \text{ trips/ksf})$$

$$T = 890 \quad \text{vehicle trips} \quad (\text{Rate} = 4.724 \text{ trips/ksf})$$

with 50% (445 vph) entering and 50% (445 vph) exiting.

2.36

2.36

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 188.400 ksf

SATURDAY DAILY

$$\ln T = 0.62 \ln(X) + 6.24$$

$$R^2 = 0.71$$

$$\ln T = 0.62 \ln(188.400) + 6.24$$

58 Studies, Avg size = 602

$$\ln T = 9.49$$

$$T = 13199.20 \quad (\text{Avg Rate} = 46.12 \text{ trips/ksf})$$

$$T = 13,200 \text{ vehicle trips} \quad (\text{Rate} = 70.06 \text{ trips/ksf})$$

with 50% (6,600 vpd) entering and 50% (6,600 vpd) exiting.
35.03 35.03

SATURDAY PEAK HOUR OF GENERATOR

$$\ln T = 0.79 \ln(X) + 2.79$$

$$R^2 = 0.87$$

$$\ln T = 0.79 \ln(188.400) + 2.79$$

119 Studies, Avg size = 416

$$\ln T = 6.93$$

$$T = 1020.93 \quad (\text{Avg Rate} = 4.5 \text{ trips/ksf})$$

$$T = 1,021 \text{ vehicle trips} \quad (\text{Rate} = 5.419 \text{ trips/ksf})$$

with 52% (531 vph) entering and 48% (490 vph) exiting.
2.82 2.60

SUNDAY DAILY

$$T = 21.10 * (X)$$

$$R^2 = \text{Not Given}$$

$$T = 21.10 * (188.400)$$

30 Studies, Avg size = 509

$$T = 3,975.24 \quad (\text{Avg Rate} = 21.20 \text{ trips/ksf})$$

$$T = 3,976 \text{ vehicle trips} \quad (\text{Rate} = 21.1 \text{ trips/ksf})$$

with 50% (1,988 vpd) entering and 50% (1,988 vpd) exiting.
10.55 10.55

SUNDAY PEAK HOUR OF GENERATOR

$$T = 2.79 * (X)$$

$$R^2 = \text{Not Given}$$

$$T = 2.79 * (188.400)$$

39 Studies, Avg sf of GFA = 369

$$T = 525.64 \quad (\text{Avg Rate} = 2.79 \text{ trips/ksf})$$

$$T = 526 \text{ vehicle trips} \quad (\text{Rate} = 3.12 \text{ trips/ksf})$$

with 49% (258 vph) entering and 51% (268 vph) exiting.
1.37 1.42

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 200.000 ksf

AVERAGE WEEKDAY DAILY

$$\ln T = 0.68 \ln(X) + 5.57$$

$$R^2 = 0.76$$

$$\ln T = 0.68 \ln(200.000) + 5.57$$

147 Studies, Avg size = 453

$$\ln T = 9.17$$

$$T = 9632.09 \quad (\text{Avg Rate} = 37.75 \text{ trips/ksf})$$

$$T = 9,632 \quad \text{vehicle trips} \quad (\text{Rate} = 48.16 \text{ trips/ksf})$$

with 50% (4,816 vpd) entering and 50% (4,816 vpd) exiting.

24.08

24.08

48.16

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 0.50 * (X) + 151.78$$

$$R^2 = 0.50$$

$$T = 0.50 * (200.000) + 151.78$$

84 Studies, Avg size = 351 ksf

$$T = 251.78$$

$$(\text{Avg Rate} = 0.94 \text{ trips/ksf})$$

$$T = 252 \quad \text{vehicle trips}$$

$$(\text{Rate} = 1.26 \text{ trips/ksf})$$

with 62% (156 vph) entering and 38% (96 vph)

0.78

0.48

WEEKDAY MORNING PEAK HOUR OF GENERATOR

$$T = 2.76 * (X) + 77.28$$

$$R^2 = 0.71$$

$$T = 2.76 * (200.000) + 77.28$$

47 Studies, Avg size = 323 ksf

$$T = 629.28$$

$$(\text{Avg Rate} = 3 \text{ trips/ksf})$$

$$T = 629 \quad \text{vehicle trips}$$

$$(\text{Rate} = 3.145 \text{ trips/ksf})$$

with 54% (340 vph) entering and 46% (289 vph)

1.70

1.45

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.74 \ln(X) + 2.89$$

$$R^2 = 0.82$$

$$\ln T = 0.74 \ln(200.000) + 2.89$$

261 Studies, Avg size = 327

$$\ln T = 6.81$$

$$T = 907.56 \quad (\text{Avg Rate} = 3.81 \text{ trips/ksf})$$

$$T = 908 \quad \text{vehicle trips} \quad (\text{Rate} = 4.54 \text{ trips/ksf})$$

with 48% (436 vph) entering and 52% (472 vph) exiting.

2.18

2.36

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\ln T = 0.72 \ln(X) + 3.02$$

$$R^2 = 0.76$$

$$\ln T = 0.72 \ln(200.000) + 3.02$$

53 Studies, Avg size = 298

$$\ln T = 6.83$$

$$T = 929.63 \quad (\text{Avg Rate} = 4.21 \text{ trips/ksf})$$

$$T = 930 \quad \text{vehicle trips} \quad (\text{Rate} = 4.65 \text{ trips/ksf})$$

with 50% (465 vph) entering and 50% (465 vph) exiting.

2.33

2.33

Proposed Retail, Gloucester, MA

Land Use Code (LUC) 820 - Shopping Center

Source: Institute of Transportation Engineers (ITE) - 10th Edition

Average Vehicle Trips Ends vs.: 1,000 sf of Gross Leasable Area

Independent Variable (X): 200.000 ksf

SATURDAY DAILY

$$\ln T = 0.62 \ln(X) + 6.24$$

$$R^2 = 0.71$$

$$\ln T = 0.62 \ln(200.000) + 6.24$$

58 Studies, Avg size = 602

$$\ln T = 9.52$$

$$T = 13697.34 \quad (\text{Avg Rate} = 46.12 \text{ trips/ksf})$$

$$T = 13,698 \text{ vehicle trips} \quad (\text{Rate} = 68.49 \text{ trips/ksf})$$

with 50% (6,849 vpd) entering and 50% (6,849 vpd) exiting.
34.25 34.25

SATURDAY PEAK HOUR OF GENERATOR

$$\ln T = 0.79 \ln(X) + 2.79$$

$$R^2 = 0.87$$

$$\ln T = 0.79 \ln(200.000) + 2.79$$

119 Studies, Avg size = 416

$$\ln T = 6.98$$

$$T = 1070.27 \quad (\text{Avg Rate} = 4.5 \text{ trips/ksf})$$

$$T = 1,070 \text{ vehicle trips} \quad (\text{Rate} = 5.35 \text{ trips/ksf})$$

with 52% (556 vph) entering and 48% (514 vph) exiting.
2.78 2.57

SUNDAY DAILY

$$T = 21.10 * (X) \quad R^2 = \text{Not Given}$$

$$T = 21.10 * (200.000) \quad 30 \text{ Studies, Avg size} = 509$$

$$T = 4,220.00 \quad (\text{Avg Rate} = 21.20 \text{ trips/ksf})$$

$$T = 4,220 \text{ vehicle trips} \quad (\text{Rate} = 21.1 \text{ trips/ksf})$$

with 50% (2,110 vpd) entering and 50% (2,110 vpd) exiting.
10.55 10.55

SUNDAY PEAK HOUR OF GENERATOR

$$T = 2.79 * (X) \quad R^2 = \text{Not Given}$$

$$T = 2.79 * (200.000) \quad 39 \text{ Studies, Avg sf of GFA} = 369$$

$$T = 558.00 \quad (\text{Avg Rate} = 2.79 \text{ trips/ksf})$$

$$T = 558 \text{ vehicle trips} \quad (\text{Rate} = 3.12 \text{ trips/ksf})$$

with 49% (273 vph) entering and 51% (285 vph) exiting.
1.37 1.42



City of Gloucester
Office of the City Clerk
9 Dale Avenue
Gloucester, Massachusetts 01930

DOCUMENT NO. 487995

Office (978) 281-9720 Fax (978) 282-3051

Office Hours: Monday, Tuesday, and Wednesday 8:30 AM to 4:00 PM
Thursday 8:30 AM to 6:30 PM
Fridays (Memorial Day to Labor Day [Summer Hours]) 8:30 AM to 12:30 PM
Fridays (Labor Day to Memorial Day [Winter Hours]) 8:30 AM to 4:00 PM

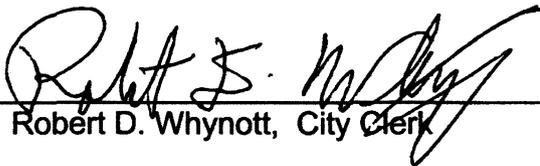
Attachment to Board of Appeals

Sam Park & Company
Side Street Highway
Gloucester, Massachusetts 01930

Map 262, Lot 13 Locus (if different from above):

Addendum to the above:

I, Robert D. Whynott, City Clerk for the City of Gloucester, hereby certify that this decision is a true and accurate copy of the original decision, which decision is filed in the City Clerk's Office, and that 20 days has elapsed since the filing of such decision, and I further certify that no notice of appeal concerning this decision has been filed in said office.


Robert D. Whynott, City Clerk

November 27, 2006
Date



487995 (80200) Btch:230004
Southern Essex District Registry
4/04/2008 09:54 AM DCSN Pg: 1/10

Seal:



City of Gloucester Board Of Appeals, Zoning

06 OCT 27 AM 10:38
CITY CLERK
GLOUCESTER, MA

CITY HALL • GLOUCESTER • MASSACHUSETTS • 01930

DECISION: Zoning Board of Appeals

PETITIONER: Sam Park & Company

PETITION: Seeking Variances for front, side and rear yard setbacks and a Special Permit for a lesser number of parking spaces than required to enable Petitioner to apply to City Council for Special Permits to construct a shopping center at side street highway (Map 262, Lot 13) (the "Site")

The Board finds that proper notice has been given by mailing and advertising pursuant to MGL Chapter 40A, Section 11. A public hearing was held on October 12, 2006 at the Kyrourz Auditorium, City Hall, 9 Dale Avenue, Gloucester, Massachusetts 01930.

Board Members Present:

- James P. Movalli, Chair
- Virginia Bergmann, Vice Chair
- Robert G. Stewart
- Francis Wright
- Stephen Reynolds

Alternate Members Present:

- Michael Nimon
- David B. Gardner

The zoning classification of the property under consideration is EB – Extensive Business.

STATEMENTS OF THE PETITIONER:

Michele Harrison, Attorney, 63 Middle Street, Gloucester, Massachusetts, spoke on behalf of the Petitioner, explaining that certain dimensional relief and parking relief were requested to allow the Petitioner to seek the Special Permits necessary for a mixed-use commercial and residential center (the "Project") at the Site. Attorney Harrison detailed the scope of the Project to provide the Board with the context for its review of the requested relief. It was represented that the Project will be constructed on a thirty-three (33) acre tract located behind the Milton Fuller Elementary School, a site that had been the location of a contentious Comprehensive Permit application before the Zoning Board of Appeals a few years ago. The current Project will contain an anchor department store, junior anchor stores, smaller specialty retail shops, two restaurants and possibly a bank with a drive-through facility. In addition, to address certain community needs, the Project will include a business hotel and assisted living residence. Specificity as to tenant identification and design is not yet available but the Zoning Board was assured that there

was definite interest for the proposed uses and that the intent of the developer was to provide a design that would represent Gloucester interest and Gloucester scale. The layout of the public street was reviewed and the proposed traffic signal was discussed in some detail.

Attorney Harrison outlined the variances sought under Section 3.2.2 for a shopping center. They are:

1. A side yard variance of 30 feet is requested to allow for the construction of a retaining wall along Route 128. Under Section 3.2.2 in the Extensive Business zoning district, the side yard setback is determined by using a setback of 20 feet plus one foot for every foot the structure exceeds 20 feet in height. The retaining wall at its highest point would be 30 feet in height and would begin at the property line. Consequently a side yard setback of 30 feet is required. The retaining wall will be a boulder wall and will slope away from the street. The site is characterized by a visible wall of ledge along Route 128 that will have to be removed, graded and retained by the proposed wall to provide the necessary flat level for the proposed commercial development.
2. A front yard variance of 20 feet is requested to allow for a retaining wall along the new public street, Gloucester Crossing Road. Again, this retaining wall is necessary to retain the reconstructed elevation along the entrance from Route 128. The front yard setback for a shopping center under Section 3.2.2 for the Extensive Business zoning district is 50 feet. The wall will begin 30 feet from the front property line along the new street and will require a variance of 20 feet.
3. The third variance requested is a rear yard setback of 11 feet for the junior anchor building, described as Building B on the submitted plans. The rear yard setback is determined by again calculating the height of the building, establishing a setback of 20 feet and adding one foot for every foot the building height exceeds 20 feet. The use of building height in calculating the required setbacks for a commercial building creates a hardship for the Petitioner as Building B is 24 feet in height without the façade, but because of the tenants' interest in having a façade that is higher to provide architectural detail and identification, the building height rises to 41 feet. This height calculation requires a request for a rear yard setback variance of 11 feet. It was demonstrated by the Petitioner that the closest house to Building B will be separated by the proposed setback of 30 feet and the width of Perkins Street, limiting any potential adverse effect.

It was demonstrated that there were unique characteristics of the Site that created a hardship for the Petitioner. They included the identified Isolated Vegetated Wetland that crosses the Site, the boulder field that characterizes the interior of the Site, and the ledge walls that are visible from Route 128. Further, it was indicated that along the rear property line, abutters have encroached onto the Site with garden sheds, swimming pools and landscaping that further constrain the location of proposed buildings and parking fields.

In finding that the hardships noted above merit the granting of the requested variances, the Board was next asked to find that desirable relief may be granted without substantial detriment to the public good. It was represented that the public is anxious for the development of this Site because of the demonstrated and often expressed need for the proposed uses. The positive response from neighborhood meetings indicates support for a finding that the proposal provides a public need without derogating from the intent and purpose of the zoning ordinance.

The Petitioner's representative next addressed the request for a Special Permit under Section 4.1.2 for fewer parking spaces than required under Section 4.1.2. This request was supported by a memorandum prepared by Traffic Solutions, LLC. It was stated that when a pedestrian friendly mixed-use retail center is proposed, the customer parks once and then walks to other on-site stores or restaurants. The mixed-use nature of a shopping center allows for the reduction of spaces from the requirements of the Ordinance. The retail tenants demand sufficient parking so that customers can park easily and in front of the store. It was stated that potential tenants and the Petitioner's leasing company have reviewed the proposed layout with the potential tenants and they are comfortable that there are sufficient spaces for the proposed mixed uses. The assisted living residence was not included in the calculation for parking spaces as it is sufficiently separate from the retail component and has the required number of parking spaces.

It was represented that 1163 parking spaces are necessary for the proposed uses, exclusive of the assisted living residence. The Petitioner proposes 926 parking spaces, necessitating a reduction of 227 spaces. The Board has the authority under Section 4.1.2 to reduce the number of parking spaces if the intent of Section 4.1.2 is met. The Petitioner detailed the formula used for the calculation of parking spaces under Section 4.1.2 and compared it with the less onerous parking requirements under the City of Peabody Zoning Ordinance where there is significant commercial and retail development.

The Board is directed under Section 1.4.12(g) to grant a special permit for a reduction in parking space requirements upon a determination that the proposed use will not have adverse effects which overbalance the beneficial effects on either the neighborhood or the City. The six criteria for such finding were reviewed and are summarized:

1. Social, economic, or community needs served by the proposal;
When the Ames Department Store left Gloucester so did the city's closest approximation to a department store. The community has been clamoring for this type of proposed retail use.

2. Traffic flow and safety;
Traffic flow will be the subject of a complete investigation, an accelerated independent third party review, and vetting by the planning board and the city council later in the permitting process. Traffic engineers for the Petitioner have studied the traffic flow and are comfortable with the suggested traffic patterns.

3. Adequacy of utilities and other public services

This has been extensively investigated by the Petitioner's engineers with the City's engineering department. There is municipal water available. There will be a sewer connection through Green Street and the Petitioner has agreed to a sewer capacity study. It was represented that the utilities are adequate for the proposal.

4. Neighborhood character and social structure

It was stated that the Zoning Board is familiar with this neighborhood from a previous applicant's Chapter 40B application and that the Zoning Board also knows that the neighborhood did not want the previous development because of the resulting change in neighborhood character with the addition of traffic through the narrow streets of the neighborhood. Neighborhood meetings indicate the support for the Gloucester Crossing Project.

5. Qualities of the natural environment

In addition to the ongoing clean up of the Site, the Petitioner is committed to cleaning up existing resources areas that have been degraded, providing some mitigation, and following an Order of Conditions to be issued by the Conservation Commission. The requested reduction in parking spaces is directly related to maintaining as much green space as possible.

6. Potential fiscal impact.

It was represented that the anticipated build out is approximately \$50 million and after some tax relief, there would be an eventual return to the City of significant tax revenue and employment opportunities.

Based on the foregoing, the Petitioner concluded that the reduction of 227 parking spaces, while providing 926 spaces, will not have adverse effects which overbalance the community's need and interest in this shopping center. The request constitutes a reduction of 20.4 percent. According to the memorandum submitted by Traffic Solutions, LLC, the mixed-use nature of the Project justifies an even greater reduction of parking spaces than that requested.

Sam Park of Sam Park & Company, the Petitioner, spoke in detail relative to the design of the proposed buildings, the traffic patterns and the safety benefit of the proposed traffic signal.

Kevin Leary of 226 Hesperus Avenue, Magnolia spoke in opposition to the proposed traffic signal.

There were no other communications received by the Board.

DISCUSSION BY THE BOARD:

The Board has carefully considered all of the information presented to it by the Petitioner, including the plans, renderings, and testimony relative to the criteria for granting the requested Variances under Section 3.2.2 and the Special Permit under Section 4.1.2. The Zoning Board expressed its concern with the potential effect on downtown merchants with the development of a mixed-use commercial center, questioning also whether the demographics of Gloucester and Cape Ann support such a commercial center. There may be competing interests which the City

Council must address in its review of this Project. Although uncomfortable that it must address specific dimensional items prior to the City Council's review of larger issues such as the need for a shopping center, its competitive or compatible relationship with downtown merchants, and the traffic and signal patterns, the Board acknowledged that its review was limited to the request for dimensional setback relief and a reduction in the required number of parking spaces.

FINDINGS ON VARIANCE REQUESTS:

With respect to the Variance requests, the Board must find that three criteria under Section 1.4.1.1 have been specifically met. They are:

1. That a literal enforcement of the provisions of the Ordinance would involve a substantial hardship;
2. That the hardship is owing to circumstances relating to the soil or shape and topography of the land and especially affecting such land or structure, but not affecting generally the zoning district in which it is located; and
3. That the desired relief can be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of this Ordinance.

The Board finds the requisite showing of hardship is present as there is an unusual lot shape, there are boulder fields, significant ledge limitations and identified wetland resource areas that create a hardship for the Petitioner in the siting of buildings and parking lots. The Board further finds that the granting of the requested relief is not in derogation of the intent and purpose of the Zoning Ordinance nor is there any detriment to the public good. The public good will be served by providing the specific uses, retail, assisted living, and a business type hotel that are proposed. The Board specifically commented that because the calculation of side and rear yard setbacks are determined by the height of the buildings, granting the requested setback variances limits the height of the proposed retail buildings. The Board therefore concluded that the Petitioner had met its burden of demonstrating that a literal enforcement of the Ordinance would involve a substantial hardship owing to circumstances relating to the topography, size and shape of the property, and that the desired relief can be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of this Ordinance and that the following variances will be granted:

For the retaining walls:

Relief requested	Required	Proposed	Variance granted
Side yard setback	30'	0'	30'
Front yard setback	50'	30'	20'

For the junior anchor building (Building B);

Rear yard setback	41'	30'	11'
-------------------	-----	-----	-----

In granting the above referenced variances, the Board specifically references the plan entitled "Site Plan Gloucester Crossing, Route 128 Gloucester, Massachusetts" drawn by John G. Crowe Associates, dated September 21, 2006 with revision date of October 10, 2006.

FINDINGS ON SPECIAL PERMIT REQUEST:

With respect to the request for a reduction in the number of parking spaces under Section 4.1.2, in its discussion, the Board stated that along with the Board's consideration of the six criteria under Section 1.4.12(g) as presented during the public hearing, the rationale for the reduction in the submitted memorandum by Traffic Solutions, LLC clearly justified the requested 20.4 percent reduction of 227 parking spaces. The Board therefore found that the proposed reduction of 227 parking spaces will not have adverse effects which overbalance the beneficial effects of the Project either on the neighborhood or the City.

VOTE OF THE BOARD:

Therefore, the Board votes to grant the following relief:

1. a Special Permit, under Section 4.1.2 of the City of Gloucester Zoning Ordinance, for a reduction of 227 parking spaces;
2. a side yard Variance for the proposed retaining wall of 30 feet;
3. a front yard Variance for the proposed retaining wall of 20 feet; and
4. a rear yard Variance of 11 feet for building B, all as shown on the above referenced plan.

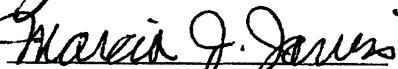
The afore-granted Special Permit and Variances shall not take effect until such notice is filed with the Registered Land Section of the Essex South District Registry of Deeds. The fee for such notice shall be paid by the owner. Prior to filing this Decision with the Registered Land Section of the Registry of Deeds, the Petitioner shall have the seal of the City affixed to same.

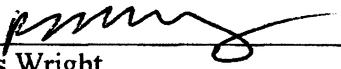
The within vote is in accordance with the plans submitted and approved by the Board on September 21, 2006 with revision date of October 10, 2006. The petitioner must construct according to those plans submitted and approved by the Board on October 12, 2006. This decision is granted in accordance with the Zoning Ordinance of June 1, 2002.

IN FAVOR OF THE VARIANCES AND SPECIAL PERMIT:


James P. Movalli, Chair


Virginia Bergmann, Vice Chair

for 
Robert G. Stewart


Francis Wright


Stephen Reynolds

Opposed: none



CITY OF GLOUCESTER

GLOUCESTER • MASSACHUSETTS • 01930

A F F I D A V I T

MARCIA J. JARVIS, SECRETARY TO THE ZONING BOARD OF APPEALS, WAS PRESENT

DURING THE HEARING OF Sam Park & Co.
side street highway .

WHICH WAS HELD ON THURSDAY, October 12, 2006 AND WAS WITNESS

TO THE VOTE CALLED ON SAME.

MARCIA J. JARVIS
SECRETARY, ZONING BOARD OF APPEALS
IN BEHALF OF:

Robert G. Stewart



CITY OF GLOUCESTER

GLOUCESTER • MASSACHUSETTS • 01930

April 24, 2007

City Clerk
City Hall
9 Dale Avenue
Gloucester, MA 01930

Re: Sam Park & Company
Zoning Board of Appeals hearing October 12, 2006

CITY CLERK
GLOUCESTER, MA
07 APR 24 PM 2:06

Dear Sir:

Due to typographical error, the above Decision of the Zoning Board of Appeals filed October 27, 2006 is hereby amended to reflect the following corrections located on page 3, paragraph 3, 3rd line down should read of 237 spaces; page 4, paragraph 5, first line should read the reduction of 237 parking spaces; page 6, paragraph 2, line 5 should read percent reduction of 237 parking spaces and line 6 should read of 237 parking spaces; page 6, paragraph 3, line 2 of #1. should read reduction of 237 parking spaces.

Respectfully submitted,



Marcia J. Jarvis, ZBA secretary

487995

Decision

ESSEX SOUTH REGISTRY DISTRICT	
APR 04 2008	
REC 9	O'CLOCK: 54 M 2007
EK 444	FG 80200

3/1
K. M. R.

492995

DOCUMENT NO. _____

CITY CLERK
GLOUCESTER, MA



CITY OF GLOUCESTER OCT 18 AM 7:46

In Re:

Application of Sam Park & Company, LLC for a)
 Special Council Permit)
 Pursuant to City of Gloucester Zoning Ordinance)
 Section 2.3.4(49) (shopping center))
 Section 5.7 (major project))
 Section 1.4.2.2 (special permit))
 Section 3.2.2 (footnote 3) (height exception))

DECISION:
 THE CITY COUNCIL
 OF THE CITY OF
 GLOUCESTER

The City Council of the City of Gloucester, Massachusetts, constituting the Special Permit granting authority under the laws of the Commonwealth of Massachusetts and the Zoning Ordinance of the City of Gloucester, hereby adopts the following findings and conclusions with regard to the application of Sam Park & Company, LLC for Special Permits pursuant to Sections 2.3.4(49), 5.7, 1.4.2.2 and 3.2.2 (footnote 3) City of Gloucester Zoning Ordinance:

1. The applicant is Sam Park & Company, LLC. The property is located at Side Street Highway and Gloucester Crossing Road, Gloucester, and is shown on Assessor's Map 262, Lot 13. The Zoning District is EB (Extensive Business).
2. The applicant seeks a Special Permit pursuant to Section 1.4.2.2 (special permit), Section 2.3.4(49) (shopping center), Section 5.7 (major project, shopping center), and Section 3.2.2 (footnote 3) (height exception) of the City of Gloucester Zoning Ordinance, to develop the site for a mixed-use project, known as Gloucester Crossing.
3. The application for the Special Permit was filed with the City Clerk on January 3, 2007. The application includes a set of plans entitled "Gloucester Crossing, Gloucester, Massachusetts Special Permit Site Plan" dated January 3, 2007, revision dates of May 3, 2007, May 11, 2007 and September 18, 2007. The application and plans are incorporated herein by reference.



492995 (00200) Bch:241250
 Southern Essex District Registry
 10/02/2008 01:23 PM DCSN Pg: 1/31

INTRODUCTION AND BACKGROUND

1. Sam Park & Company, LLC (hereinafter referred to singularly and collectively as the "Applicant") has proposed four (4) uses in the Extensive Business District ("EB") that require special permits pursuant to the Gloucester Zoning Ordinance ("GZO"). The EB zoning was established by a zoning change from the R-3 district, approved November 29, 2005 by the Gloucester City Council, allowing for the possible development of the proposed mixed use project by pursuing the applied for special permits.
2. The four proposed uses that require a special permit in the EB District are:
 - * Shopping Center ("SC")
 - * Assisted Living Residence ("ALR")
 - * Hotel ("Hotel")
 - * Drive-Through Bank Facility ("Drive-Through Bank Facility")
3. Pursuant to Section 5.7.4 of the GZO, Major Project applications and plans submitted to the City Council are forwarded to the Planning Board ("The Board") for review and preparation of an advisory report. When the Board deems it advisable, it may engage professional assistance for such review and report.
4. On January 3, 2007, the Applicant filed the application and supporting plans and material with the Office of the City Clerk and the Gloucester Planning Board.
5. For the purposes of this Decision, the applications for special permits for the, SC, Hotel, ALR and Drive-Thru shall be termed hereinafter the "Application." For the purposes of this Decision, the SC, Hotel, ALR and Drive-Through Bank Facility, as more particularly described below, shall be termed hereinafter the "Project." The City Council specifically finds that due to the integrated nature of the Applicant's proposed Project, which includes the SC, Hotel, ALR and Drive-Through Bank Facility as components thereof, the Introduction and Background, Findings and Conditions for all special permits shall be addressed in this single Decision and restated in each granted Special Permit.
6. The Application and the Special Permit Site Plan were reviewed by the Building Inspector and Planning Director and were determined to satisfy all of the submittal requirements for the filing of special permit applications pursuant to Sections 1.4.2, 5.7, 5.14 and 5.17 of the GZO.
7. Pursuant to provisions of the GZO, the Planning Board caused the posting of and held multiple public meetings at Gloucester City Hall, 9 Dale Avenue, Gloucester.
8. After notice, public meetings on the review of the Application and plans were commenced on February 7, 2007. The Planning Board held seven (7) sessions of the continued public meetings on February 7, 2007 (Joint meeting with the Planning and Development Committee of the City

Council), February 26, 2007, March 12, 2007, March 26, 2007, April 9, 2007, April 23, 2007, and May 14, 2007.

The public meeting for purposes of reviewing the Special Permits was closed on May 14, 2007. The minutes of such meetings are filed with the Office of the City Clerk and with the Office of the Community Development Department and are incorporated into this Decision.

9. The Planning Board retained the following consultants for the purpose of independent peer review for the Planning Board and the City Council using funds deposited in an escrow account provided by the Applicant pursuant to G.L. c. 44, s. 53G:

Traffic: Howard/Stein-Hudson Associates (HSH), Boston, MA

Civil Engineering: Camp, Dresser & McKee, Inc. (CDM), Cambridge, MA

10. The Applicant was represented at all sessions of the public meeting by Michele Holovak Harrison, Esq., 63 Middle Street, Gloucester, MA.

11. The Applicant retained the following consultants who made statements and/or presentations during the public meetings:

Civil Engineer: John G. Crowe Associates, Inc., Belmont, MA

Traffic: Traffic Solutions, LLC, Boston, MA

Fiscal Analysis: The Wilder Companies, Boston, MA

Architecture: Smook Architecture & Urban Design, Inc., Boston, MA

Environmental Permitting: Amy Green Environmental Consulting, LLC, Acton, MA

12. The Applicant made a full and complete presentation on all aspects of the Application and Site Plan. Specific presentations were made by the Applicant on traffic, environmental and drainage, Site Plan of the Shopping Center, Hotel, Assisted Living Residence and Drive-Through Bank Facility, including but not limited to parking, vehicular circulation, landscaping and buffers, height and access, zoning compliance and other dimensional requirements, water, sewer, visual, lighting, architectural, community and fiscal impacts.

13. Following each substantive presentation by the Applicant, the appropriate Planning Board technical consultant made a formal presentation on the same subject matter. As needed, the Planning Board also heard testimony from representatives of the various City departments. The written review of the consultants and City departments are incorporated into this Decision. The Planning Board accepted testimony and questions from citizens at each public meeting held.

14. In addition to presentations at the public meetings, the Planning Board received a number of reports and other documents from its technical consultants and the general public, all of which are on file in the Community Development Department office and are incorporated into this Decision.

15. The Planning Board issued a comprehensive document entitled "Recommendations for Major Project Special Permits – Gloucester Crossing: Shopping Center, Assisted Living Residence, Hotel, and Drive Thru Facility" dated May 14, 2007 in which the Planning Board recommended the granting of all requested special permits that were reviewed by the Planning Board, issued findings and recommended conditions. A copy of the Planning Board's recommendations is filed with the Office of the City Clerk and with the Office of the Community Development Department and is incorporated herein.

16. Pursuant to provisions of the GZO and the rules of the City Council, the Planning and Development Standing Committee of the City Council caused the notice and the posting of and held multiple public meetings at Gloucester City Hall, 9 Dale Avenue, Gloucester.

17. The Planning and Development Standing Committee of the City Council (P&D) continued its review of the Applications, including additional Special Permit requests for Height Exceptions and distance between buildings. The Committee meetings were properly noticed. The Committee opened its meeting at a joint meeting with the Planning Board on February 7, 2007; after notice, the meeting resumed on June 6, 2007, a site walk on June 12, 2007, continued on June 13, 2007, and concluded its hearing on June 20, 2007. The minutes of such meetings are filed with the Office of the City Clerk and are referenced and incorporated into this Decision.

18. The P&D continued the use of the following consultants for the purpose of independent peer review using funds deposited in an escrow account provided by the Applicant pursuant to M.G.L. c. 44, s. 53G:

Traffic: Howard/Stein-Hudson Associates (HSH), Boston, MA
Civil Engineering: Camp, Dresser & McKee, Inc. (CDM), Cambridge, MA

19. The Applicant was represented at all sessions of the P&D public meetings by Michele Holovak Harrison, Esq., 63 Middle Street, Gloucester, MA.

20. The Applicant retained the following consultants who made statements and/or presentations during the public meetings:

Civil Engineer: John G. Crowe Associates, Inc., Belmont, MA
Traffic: Traffic Solutions, LLC, Boston, MA
Fiscal Analysis: The Wilder Companies, Boston, MA
Architecture: Smook Architecture & Urban Design, Inc., Boston, MA
Environmental Permitting: Amy Green Environmental Consulting, LLC, Acton, MA.

21. The Applicant made a full and complete presentation on all aspects of the Application and Site Plan with specific emphasis on the six criteria of Section 1.4.2.2(e) of the GZO for a Shopping Center and the criteria of Section 3.2.3(e) for greater building height before the P&D. Presentations were made by the Applicant on: social, economic or community needs served by the proposal; traffic flow and safety; adequacy of utilities and other public services;

neighborhood character and social structure; qualities of the natural environment; and potential fiscal impact. Presentations included an in-depth review of traffic, environmental and drainage issues with review and comment by the independent consultants retained by the City for peer review. The Applicant's written presentation material is referenced and incorporated into this Decision.

22. In addition to presentations at the public meetings by the consultants for the Applicant, the Planning and Development Committee received reports and other documents from its technical consultants, municipal departments, and the general public. All material is on file with the Office of the City Clerk, is referenced herein and incorporated into this Decision.

23. On the basis of the testimony at the initial meeting and the continued public meetings before the Planning and Development Standing Committee of the City Council, the documents submitted, the representations of the Applicant and the recommendations of the Planning Board, at the conclusion of the public meeting on June 20, 2007 upon **MOTION** of Councilor Jacqueline Hardy, seconded by Councilor Michael McLeod

VOTE: the Planning and Development Committee voted three (3) in favor, none (0) opposed,

TO RECOMMEND TO THE FULL CITY COUNCIL THAT THE CITY COUNCIL APPROVE THE SPECIAL PERMIT FOR A MAJOR PROJECT FOR THE SHOPPING CENTER AND THE SPECIAL PERMITS FOR HEIGHT EXCEPTION UPON THE FINDINGS AND CONDITIONS THAT ARE INCORPORATED INTO THE CITY COUNCIL FINDINGS AND CONDITIONS, ALL OF WHICH FOLLOW BELOW.

24. The Planning and Development Committee acknowledged that although the project is composed of many parts and many individual special permits, it is also viewed as a whole. The approval or disapproval of one affects the whole.

25. Individual motions on the three (3) Special Permits for a major project (one for the Shopping Center, one for the Hotel, and one for the Assisted Living Residence), a Special Permit for the Drive-Through Bank Facility, six Special Permits for height exception, a motion for distance between buildings, and a motion under the City's Code of Ordinances §21-42 to abandon a right of way and a motion under the Code of Ordinances §21-42 to relocate a water line easement were made and seconded and each received a vote of three (3) in favor, none (0) opposed.

26. The P&D Committee **FINDS** that the adverse effects of the proposed use will not outweigh its beneficial impact to the City or the neighborhood in view of the particular characteristics of the Site and of the Proposal in relation to this site. It was found that each of the major project applications and the drive-through bank facility met the criteria for a Special Council Permit under Section 1.4.2.2(e), performance standards under Section 5.14.4 for an assisted living residence, and guidelines under Section 5.7.5 (shopping center, hotel, assisted living). The standards and guidelines were reviewed by counsel for the Applicant and the Applicant's consultants. The approved motions incorporated the recommendations and conditions of the

Planning Board in addition to the extensive review and additional conditions by the Committee. The findings of P&D and conditions are incorporated into the final Decision of the City Council and are contained in the Committee minutes of June 20, 2007.

27. After proper notice and advertisement, a public hearing on all applications was opened by the City Council on February 20, 2007 and continued without testimony until June 26, 2007 at which time testimony began. The public hearings were continued and additional testimony was given on August 14, 2007, August 21, 2007, September 4, 2007 and September 8, 2007. The hearing was closed on September 8, 2007. The City Council sponsored a forum for public comment on the project in its entirety on July 10, 2007. Minutes of this forum are on file in the Office of the City Clerk.

28. The City Council considered the following in making its findings: the Application, plans and other submission material, presentations by: the Applicant; its legal consultant, Michele Holovak Harrison; its consulting engineers, John G. Crowe Associates, Inc.; its consulting traffic engineers, Traffic Solutions, LLC; its consulting wetlands and environmental consultant, Amy Green Environmental Consulting, LLC; its architect, Smook Architecture & Urban Design; and its leasing associates, The Wilder Companies. In addition, the City Council considered material submitted and presented by municipal departments, the City's independent professional engineering consultants, Camp, Dresser & McKee, Inc., and its independent traffic engineer, Howard/Stein-Hudson Associates. Throughout its deliberations, the City Council has been mindful of the statements of the Applicant and its representatives, the Council's independent reviewers, municipal departments, boards and commissions, and the comments of the public, all as made on multiple occasions at the public hearings. A significant consideration was given by the Council to a Fiscal Impact Analysis dated September 4, 2007 prepared by Gregg Cademartori, Planning Director for the City of Gloucester, at the direction of the Council. This Analysis is specifically incorporated herein by this reference.

29. In view of the foregoing and the following findings and conditions, the City Council decides that the aforesaid property is a proper parcel to be developed under the Gloucester Zoning Ordinance and grants a Special Permit for a shopping center comprised of 195,000 square feet, made up of an aggregation of retail business, restaurants and consumer service, all as shown on plans entitled "Gloucester Crossing, Gloucester, Massachusetts Special Permit Site Plan" January 3, 2007 with revision dates of May 3, 2007, May 11, 2007 and September 18, 2007.

FINDINGS

Finding 1. The subject property (hereinafter referred to as the "Site") consists of approximately 33 acres of land as shown on the Site Plan. The Site is located adjacent to the Fuller School bounded by Route 128 to the north and existing residential areas to the south. The Site is more specifically identified as Assessor's Map 262, Lot 13.

Finding 2. The Site is located entirely in the Extensive Business District as per a zoning amendment granted by the City Council on November 29, 2005.

Finding 3. The Applicant proposes to develop a mixed use project on the Site as shown on the Site plans consisting, of:

- * A Shopping Center consisting of approximately 195,000 sf of retail space;
- * Business Hotel with approximately 100 rooms and with meeting facilities;
- * Assisted Living Residence with between 80-100 units;
- * A Drive-Through Bank Facility.

Finding 4. Line items seven (7), eleven-A (11A), and forty-nine (49) of Section 2.3 Use Regulations Schedule of the GZO provide, respectively, that "Hotel", "Assisted Living Centers" and "Shopping Centers" are allowed by special permit in the EB District. Drive-Through Bank Facilities are also permitted in the EB district pursuant to Section 5.17 of the GZO.

Finding 5. Pursuant to Section 1.4.2 of the GZO, a special permit may be granted:

only upon the City Council's written determination that the adverse effects of the proposed use will not outweigh its beneficial impact to the City or the neighborhood, in view of the particular characteristics of the Site, and of the proposal in relation to that Site. In addition to any specific factors that may be set forth in the Ordinance, the City Council's determination shall include consideration of each of the following:

1. Social, economic or community needs which are served by the proposal;
2. Traffic flow and safety, including parking and loading;
3. Adequacy of utilities and other public services;
4. Neighborhood character and social structures;
5. Impacts on the natural environment; and
6. Potential fiscal impact, including impact on City services, tax base and employment.

Finding 6. With respect to the request for a Special Permit for the height exception under Section 3.2.2(footnote 3) of the Zoning Ordinance, which section particularly applies to Shopping Centers, the Council finds that there would be no adverse impact to the neighborhood by granting a Special Permit to exceed the maximum height requirement for four of the buildings that comprise the Shopping Center. The four buildings are the junior anchor store, the specialty retail store and the two free standing restaurant buildings. It was noted that it is the method of calculating height in the GZO, using existing grade rather than using post construction grade and the inclusion of higher architectural details that dictate the height exception. The Council found that the proposed increases are not detrimental as there will be no material obstruction of any view nor will there be any overshadowing as the buildings are located in the large 33 acre parcel, far distant from the neighboring residential area. All new utilities are underground so there is no utilities consideration. Further, the Council found through the applicant's testimony and

presentation of elevations that a more aesthetic design for the buildings is available with the proposed architectural details.

Finding 7. The Council finds that the requested height exceptions are in harmony with the intent and purpose of the Zoning Ordinance, and that they are not detrimental to the neighborhood because of view obstruction, overshadowing or utilities considerations and meet the criteria necessary for the Special Permits.

Finding 8. The Council finds that the requested special permit for a shopping center is in harmony with the intent and purpose of the Zoning Ordinance and meet the criteria necessary for a Special Permit.

The Gloucester City Council makes the following findings on such criteria.

1. Social, Economic or Community Needs

The City Council makes the following findings with respect to social, economic, or community needs.

A. The Application is consistent with the uses in the EB district and with the Community Development Plan. The Project's ALR would serve the housing and health care needs of senior citizens and allows for the availability of supportive services to different types of senior housing and accommodations. The Project would also introduce approximately 195,000 square feet of commercial/retail space and a business hotel with meeting facilities to serve the existing businesses in the Business Park and community. The availability of retail business would fill a gap in the availability of retail soft goods created by the loss of other retail business in the recent past. This project also eliminates the current need of traveling approximately 34 miles round trip to the nearest shopping center to find the same proposed goods and services.

B. The Application is consistent with the goals and objectives of the City of Gloucester Community Development Plan ("CDP"), dated March, 2001. As recognized in the CDP, the population of Gloucester is aging. There are over 6,000 seniors 65 years of age or older according to the 2000 U.S. Census. The Board also notes that with the closing of Shore Cliff facility in Magnolia, there is no such Assisted Living Residence in Gloucester. The Project addresses the needs of Gloucester residents who require/desire such services.

C. If approved, the ALR would benefit Gloucester citizens. As set forth in the GZO Section 5.14.4(f) 3 and the following conditions, Gloucester residents would have preferential access for residency.

D. Gloucester Crossing, and specifically the Shopping Center portion, will result in many jobs. There would be numerous construction-related jobs over a period of two

years. In addition, the Project would provide approximately 200 permanent professional and service jobs. As set forth in the conditions to this Decision, the Applicant shall attempt to hire people from the local community and recruit employees from the City of Gloucester. The Applicant has committed to cross-promotional opportunities with the downtown. This will provide a new means of marketing for the downtown and tourist industry that does not currently exist.

E. The Applicant will maintain and enhance pedestrian links between the proposed Shopping Center, the ALR and the existing neighborhood and will enhance and preserve open space on the Site.

F. The Project will provide a business style Hotel with meeting facilities and retail amenities that can provide support to the Blackburn Industrial Park.

G. The Project is projected to produce significant new tax revenue to the City in annual real estate taxes, personal property taxes, and hotel taxes.

2. Traffic Flow and Safety, including Parking and Loading

The City Council comprehensively reviewed the impacts of the anticipated traffic from the Project in its entirety. The City Council relied on its technical consultants, Howard/Stein-Hudson (HSH). Reports from HSH are filed with the Office of the City Clerk. All material requested of the Applicant by HSH was provided and determined by HSH to be satisfactory. The City Council finds that:

A. The Applicant has properly conducted all traffic counts and related studies. The Applicant has utilized appropriate land use codes for determining traffic from the ALR, SC with Drive-Through Bank Facility, and Hotel. The Applicant has properly considered background traffic growth, including analyzing the projected traffic from buildout of the Blackburn Industrial Park as background for purposes of analyzing the proposed traffic mitigation.

B. The Project (ALR, SC with Drive-Through Bank Facility, and Hotel) will attract approximately 7,014 new vehicle trips per weekday. The distinction has been made that vehicle trips are composed of "trips to" and "trips from" the Project. This total trip figure equates to approximately 3,507 new vehicles per day, many of which are recognized as existing pass-by trips and not new vehicles to Gloucester.

C. Adequate intersection and sight stopping distance were confirmed by HSH to be adequate for both eastbound and westbound approaches to the proposed intersection of Route 128 and Gloucester Crossing Road. A traffic mitigation plan, which includes a traffic signal installation, is the preferred option by the Applicant and as recommended by the Planning Board and the School Committee. The signalized option is shown as Figure

8, in the "Traffic Impact and Access Study" (TIAS) prepared by Traffic Solutions, LLC and which is a part of the application.

D. Crash data was provided for the years 2002-2004. Mitigation measures in the form of the modification of the road geometry at Grant Circle Rotary, the Blackburn Rotary, the road "Extension" between the Blackburn Rotary and the phasing of the Eastern Avenue signal, and the installation of a single phased signal at the proposed intersection of Gloucester Crossing Road, subject to Mass Highway approval, satisfy the concerns related to vehicular access and circulation and safety.

E. The Level of Service (LOS) summary was provided in the TIAS by Traffic Solutions, LLC and outlines the Applicant's approach to developing the traffic volume assignments for the No Build, Build and Build with Mitigation. It has been determined to be acceptable by HSH. To mitigate the proposed traffic impacts, the Applicant proposes optimizing the timing of the signalized intersections at the proposed Route 128/Gloucester Crossing Road and the Eastern Avenue signal to maximize green time and minimize overall delay. Although some individual movements through these intersections already experience a low LOS under the Build with Mitigation condition, they are not further degraded and some areas, namely the rotaries, may experience improved circulation over the existing conditions. Overall LOS for the signalized intersections was maintained or improved by the mitigation when compared to the LOS reported for the No Build Condition.

F. As set forth in the Conditions, the Applicant shall establish a transportation demand management (TDM) program to encourage shuttle service from the ALR and provide a regular on-site bus stop and work with CATA to ensure a permanent stop. These measures will further reduce vehicular traffic.

G. The Applicant's proposal to perform extensive roadway improvements at no cost to the City (other than a TIF or DIF application if applied for and approved by the City Council) includes:

- * a new public road connecting the Blackburn Rotary to the new Gloucester Crossing/Route 128 intersection;
- * a traffic signal at this new Route 128/Gloucester Crossing intersection, subject to Mass Highway approval;
- * retiming of the signal at Eastern Avenue/Route 128 with permissive left turn signal;
- * geometric and landscape improvements to the Grant Circle and Blackburn rotaries;
- * re-striping, signage and lane improvements at the Route 128 Extension between Blackburn and Eastern Avenue, and the Grant Circle and Blackburn rotaries.

H. The plans indicate adequate circulation for anticipated operations of each element of the Project. Sufficient access is provided for residents, delivery trucks, service loading and refuse collection. The plans show adequate parking for the mixed-use project. The Applicant has received relief from parking requirements through a Special Permit for reduced parking from the Zoning Board of Appeals. Parking needs will be accommodated by both surface and underground parking in the proposed Hotel.

I. The Council finds that adequate mitigation has been proposed to mitigate the impacts of the traffic associated with the Project, as set forth in the reports of Traffic Solutions, LLC and presented during the permitting for the project.

3. Adequacy of Utilities and Other Public Services

The Council makes the following findings with regard to the adequacy of utilities and other public services:

A. Electricity, sewer, and water connections are all readily available to the Site. The Applicant will provide a back up generator for an existing water pump located on the Fuller School site.

B. The Project will connect directly to the city sewer line at the Perkins Street boundary.

C. The City of Gloucester Engineering Department utilized an independent consultant, New England Civil Engineering Corps. (NECE), to conduct an evaluation of the city sewer system and found the system can meet the demands of the Project provided some off site upgrading is carried out by the Applicant at Staten Street. The Council conditions its approval on the improvements as suggested in the NECE report dated April 16, 2007 on file with the Office of the City Clerk and incorporated into this Decision.

D. The Applicant submitted a stormwater management plan developed by John G. Crowe Associates, with revised calculations dated April 18, 2007 and revised Site Plan dated May 11, 2007, final revision date September 18, 2007, which addresses both the rate and volume of runoff leaving the Site. The Board's independent engineering consultant, CDM, reviewed and commented on the design and concluded that the design complies with state and local regulations, resulting in both a reduction of rate of runoff and volume of runoff. The Applicant's Stormwater Management Plan and Drainage Calculations are incorporated herein and made a part of this Decision.

E. The Applicant has proposed the use of water conservation measures, including water-saving fixtures, irrigation cisterns, and drought tolerant plantings throughout the Project in addition to infiltration and detention basins as a part of the Project stormwater management.

4. Neighborhood Character and Social Structures

The City Council makes the following findings with regard to neighborhood character and social structures:

A. The buildings and improvements within the Project will have minimal visual impact on residential abutters due to proposed screening but are accessible by pedestrian paths from the neighborhood to the south.

B. The architecture of the buildings and improvements within the Project fit into the New England character with the inclusion of clapboard materials and distinct rooflines. The architecture of the Project is consistent with or exceeds the design standards of other commercial and/or industrial uses in the area.

C. The Project has been designed to conform to the setback requirements for the EB from the abutting residential neighborhood or addressed through ZBA granted relief and proposed landscape screening.

D. The Applicant submitted an acoustical study that indicates that the Project will not cause adverse acoustical impacts to the adjacent neighborhood. Roof top mechanical equipment incorporates noise mitigation or is low noise mechanical equipment.

5. Impacts on the Natural Environment

The City Council makes the following findings with regard to impacts on the natural environment:

A. The Project has been filed with the Massachusetts Executive Office of Environmental Affairs ("EOEA") under the Massachusetts Environmental Policy Act ("MEPA"). The MEPA process considers site planning, stormwater management, wetland resource areas, rare species, wildlife habitat, water supply and conservation, irrigation, wastewater management, sustainable design, historic and archaeological resources, traffic and construction management. As a result of this process, EOEA has issued a Certificate of the Secretary of Energy and Environmental Affairs on the Final Environmental Impact Report dated June 15, 2007 that is incorporated into the submission materials, was considered by the City Council in its deliberations and is incorporated herein.

B. The Project has been reviewed by the Gloucester Conservation Commission (GCC) through multiple filings. For the purposes of the review of the Notice of Intent for local jurisdictional areas and the Notice of Intent for state jurisdictional areas, the GCC utilized the services of its Conservation Agent, as well as CDM as an independent consultant. The review included wetland resource area delineations, land subject to flooding, vegetated wetlands, buffer zones, potential vernal pools, wildlife habitat/rare species, stormwater management and operations and maintenance after construction.

C. Changes to the drainage system were made to maximize infiltration of stormwater onsite. These were made to both better mimic the existing hydrology supporting the onsite wetland resources and minimize the potential of offsite flooding or impacts to the Mass Highway drainage system adjacent to Route 128 and the CSO 002 area.

D. The Conservation Commission issued two Orders of Conditions GWO-07-2 and DEP No. 28-1857, both issued May 24, 2007 and such Orders are incorporated by reference in this Decision.

6. Potential Fiscal Impact, Including Impact on City Services, Tax Base and Employment

The City Council makes the following findings with regard to potential fiscal impact, including impact on City services, tax base and employment:

A. The City Council was presented information on the fiscal impact of the Project from Thomas Wilder of the Wilder Companies and Attorney Michele Harrison for the Applicant. In addition, the Council relied on a document prepared by Gregg Cademartori, Planning Director, entitled Gloucester Crossing – Fiscal Impact Report, dated September 4, 2007, referenced and incorporated into this Decision.

B. The City Council incorporates the material and conclusions of said Fiscal Impact Report and based on the City's Fiscal Impact Report in addition to supplemental information and presentation finds that the Gloucester Crossing project would be a fiscal benefit to the City from construction through buildout.

C. In addition to initial building and other construction permit fees, new tax revenue will be generated from property taxes, personal property taxes, and hotel excise taxes.

D. The Applicant has proposed certain improvements to the municipal infrastructure including the design and construction of Schoolhouse Road and Gloucester Crossing Road, improvements to Fuller School athletic fields and parking areas, relocation of existing utilities for improved access, installation of improved stormwater management, and installation of utilities in Gloucester Crossing Road. The Applicant estimates that these public improvements alone carry a value of over \$2.5 million.

E. The Applicant estimates that the Project would generate 200 construction related jobs over several years, and approximately 200 or more permanent professional and service jobs. Jobs associated with other services related to the operation of components of the Project such as snowplowing, landscaping, waste removal, and security have not been included in this estimate.

(Findings continued)

Finding 9. Major Project Design Criteria and Guidelines

Pursuant to Section 5.7.5(a-d), each of the major project special permits for the SC, ALR and Hotel substantially follow the criteria and guidelines discussed below. Additional criteria for a Shopping Center are found in Finding 10 below.

A. Section 5.7.5(a) recommends that access should be from an arterial or collector street via ways servicing not more than ten single-family homes. Route 128 Extension, which will provide the access, is an arterial street as defined in the Zoning Ordinance and demonstrates compliance with the provision.

B. Section 5.7.5(b) references compliance with the State Environmental Code for onsite wastewater treatment systems. As designed the Project will be served by municipal sewer, tying into the existing municipal sewer line on Perkins Street. Therefore this provision is not applicable.

C. Section 5.7.5 (c) As presented to the Council through application material, plans, supplemental material and presentations, and as confirmed by City staff and the City's independent traffic and engineering consultants, adequate provisions have been made for access, drainage, utilities and accommodate the Project in context of surrounding uses. Supporting documentation for this finding is found in the aforementioned Recommendations of the Planning Board to the City Council.

D. Section 5.7.5 (d) requires that all other provisions of the GZO and all applicable provisions of the State Building Code must be satisfied. On October 12, 2006, the ZBA granted a Special Permit for a reduction in the number of parking spaces and certain dimensional variances. A copy of the Zoning Board of Appeals Decision was submitted as part of the Application and is incorporated herein.

Finding 10. Shopping Center Major Project Design Guidelines

In addition to the above-outlined generic major project guidelines, Section 5.7.5(f) of the GZO addresses certain guidelines specific to shopping centers, all of which were addressed in the Application, reviewed by the Planning Board and incorporated in the Recommendations of the Planning Board. The City Council finds that the Shopping Center application has satisfactorily addressed each of the guidelines.

Finding 11. Special Permit for Height Exceptions

With respect to the request for four Special Permits for height exception under Section 3.2.2(footnote 3) of the Zoning Ordinance, which section particularly applies to Shopping Centers, the Council finds that there would be no adverse impact to the neighborhood by granting a Special Permit to exceed the maximum height requirement for four of the buildings that comprise the Shopping Center. The Council finds that it is the method of calculating height in the GZO, using existing grade rather than using post construction grade and the inclusion of higher architectural details that dictate the height exception. The elements of the façade of the various buildings, highlighted by the design features, aesthetically break the front wall of typical commercial structures. The Council found that the proposed increases are not detrimental as there will be no material obstruction of any view nor will there be any overshadowing as the buildings are located in the large 33 acre parcel, far distant from the neighboring residential area. All new utilities are underground so there is no utilities consideration. Further, the Council found through the Applicant's testimony and presentation of elevations that a more aesthetic design for the buildings is available with the proposed architectural details.

Finding 12. Detailed Height Exceptions

The Council finds that the requested height exceptions are in harmony with the intent and purpose of the Zoning Ordinance, and that they are not detrimental to the neighborhood because of view obstruction, overshadowing or utilities considerations and meet the criteria necessary for the Special Permits and grants the following relief:

<u>Building Label</u>	<u>Use</u>	<u>Average Height</u>	<u>Relief Granted</u>
Building B	junior anchor	41 feet	11 feet
Building C	specialty retail	52 feet	22 feet
Building D	restaurant	39 feet	9 feet
Building F	restaurant	42 feet	12 feet

DECISION

There was extensive public comment in favor and in opposition to the proposal throughout the continued public hearings, all as reflected in the City Council minutes which are incorporated herein.

The public hearing closed on September 8, 2007.

The Planning and Development Committee reported that the Committee determined that the criteria of Section 1.4.2.2 had been satisfied and that the guidelines of Section 5.7.5 were followed to the Committee's satisfaction and had on **MOTION** of Councilor Hardy and seconded by Councilor McLeod:

VOTED: three in favor, zero opposed,

TO RECOMMEND TO THE CITY COUNCIL THE APPROVAL OF THE APPLICATION OF SAM PARK & COMPANY, LLC FOR A SPECIAL COUNCIL PERMIT UNDER SECTION 2.3.4(49) TO CONSTRUCT A SHOPPING CENTER SUBJECT TO THE CONDITIONS THAT FOLLOW.

The Planning and Development Committee also reported that the Committee determined that the criteria of Section 3.2.2(3) for a greater building height for Buildings B, C, D, and F had been satisfied and had on **MOTION** of Councilor Hardy and seconded by Councilor McLeod,

VOTED three in favor, zero opposed,

TO RECOMMEND TO THE CITY COUNCIL THE APPROVAL OF THE APPLICATION OF SAM PARK & COMPANY, LLC FOR FOUR SPECIAL COUNCIL PERMITS FOR HEIGHT EXCEPTION UNDER SECTION 3.2.2(3) AS SHOWN ON THE PLANS AND AS FOLLOW:

<u>Building Label</u>	<u>Use</u>	<u>Average Height</u>	<u>Relief Granted</u>
Building B	junior anchor	41 feet	11 feet
Building C	specialty retail	52 feet	22 feet
Building D	restaurant	39 feet	9 feet
Building F	restaurant	42 feet	12 feet

VOTE and CONDITIONS

After considering the required factors set forth in Sections 1.4.2.2(e), 5.7 and 5.14 of the GZO, the City Council grants the Special Permit for a Shopping Center finding that the adverse effects of the Shopping Center portion of the proposed Gloucester Crossing Project will not outweigh its beneficial effects to the City and the neighborhood. In view of the particular characteristics of the Site, and of the proposed Project in relation to the Site, the City Council further finds that siting requirements for the Shopping Center and each other use have been satisfied.

After considering the required factors set forth in Sections 3.2.2(3) of the GZO, the City Council grants the Special Permits for height exceptions for Buildings B, C, D, and F as shown on the Site Plans. All references hereinafter to the "Applicant" shall be construed to also refer to successor owners of the Site and, where applicable, to all tenants and occupants of the Site.

THE SPECIAL PERMITS ARE SUBJECT TO THE FOLLOWING CONDITIONS:

Conditions

1. The Project shall be constructed in accordance with the following Record Plans, which are on file with the Planning Board and City Clerk's Office:

Gloucester Crossing, Gloucester Massachusetts, Special Permit Site Plan, dated January 3, 2007, revised May 3, 2007, revised May 11, 2007 and revised September 18, 2007 (hereinafter referred to as the "Record Plans").

2. The Project shall be limited to the buildings and improvements shown on the Record Plans: a Shopping Center (composed of Buildings A, B, C, D and F), an Assisted Living Facility (Building H), a Hotel with end cap restaurant (Building E), and Drive-Through Bank Facility (Building G). Due to the concerns regarding stormwater generation, any proposed changes which would result in an increase in the "footprint" of the Project should be reviewed following the procedures outlined further in these conditions.

3. If the Applicant wishes to modify the approved Record Plans, it shall submit proposed modifications in accordance with the provisions of this paragraph. Where such modification is deemed substantial, the same standards and procedures applicable to an original application for a special permit approval shall apply to such modification and review, and recommendation by the Planning Board and public hearing by the City Council; provided, however, that the Planning Director may determine that a proposed modification is insubstantial and approve the same.

4. The Planning Director in consultation with the Community Development Director, Building Inspector, City Engineer, Conservation Agent, and Director of Public Works, shall determine whether any modifications to the Project are substantial or insubstantial. In making such determination, the following shall be presumed to constitute substantial modifications, subject to confirmation by the City Council by majority vote at a public meeting.

- * Any change in the composition or number of uses on the Site specified in Condition No. 2 that results in an increase in traffic generation above the vehicle trips identified in the record documents;
- * Changes in the location of buildings, roadways, parking areas and other accessory structures that decrease the setbacks as defined in the GZO from adjoining residential areas indicated in the record documents;
- * Changes that result in a net reduction of open space or lot coverage indicated in the record documents;
- * Changes to the buildings or grading that increase a building's height beyond that shown on the record documents and beyond that shown on the final approved plans;

- * Changes to the buildings that increase the total floor area of the Project beyond that shown on the record plans;
- * Changes to the architectural character of the buildings shown in the record documents; and

Authorization to modify the Record Plans shall be obtained prior to any substantial modification in the field.

5. The City shall not have any legal responsibility for the operation, maintenance, repair or replacement of the same to the extent such features are located on the Site:

- * All roadways and parking areas within the Project;
- * Stormwater management facilities, including detention basins;
- * Snow plowing of internal roads and parking areas, and cost of plowing Gloucester Crossing Road and School House Road as determined in the City's acceptance of the layout of Gloucester Crossing Road and related documents;
- * Landscaping within the Project, except for landscaping in the layout of Gloucester Crossing Road and School House Road after the expiration of the Applicant's maintenance responsibilities as determined in the City's acceptance of the layout of Gloucester Crossing Road and related documents;
- * Trash removal;
- * Street lighting within the Project, except for lighting in the layout of Gloucester Crossing Road and School House Road after the expiration of the Applicant's maintenance responsibilities as determined in the City's acceptance of the layout of Gloucester Crossing Road and related documents;
- * Building repair and maintenance;
- * Water and sewer services within the Project.

6. The internal driveways within the Project shall remain private in perpetuity and shall not be proposed by the Applicant for acceptance by the City.

7. In the event of any emergency, the Applicant shall allow the City of Gloucester DPW access to the sewer and water lines on the Site for repair purposes.

8. The Conservation Commission's Order of Conditions issued May 24, 2007 pursuant to 310 CMR 10.00 and an Order of Conditions issued May 24, 2007 under the Gloucester Wetlands Ordinance regarding this property are a part of this Special Permit. If there is any inconsistency between the Record Plans, and the plans as may be approved by the Conservation Commission or the DEP, the Applicant shall submit an amended plan to City Council and the Planning Board for review, and to the Conservation Commission and to DEP (if applicable) for approval in order that all approvals are consistent with one another.

9. Following construction of the Project, the Applicant shall provide an "as-built" site plan to the City Council, the Planning Board, the Engineering Department, and the Building Department prior to the issuance of the final Certificate of Occupancy for buildings in the Project in accordance with applicable regulations. Partial Certificates of Occupancy may be issued upon completion of various phases of the Project. The Applicant shall provide a separate as-built plan depicting the water mains and services and sewer mains and facilities to the Engineering Department demonstrating compliance with the Record Plans and installation specifications. These plans shall also be submitted in electronic format.

Conditions Pertaining to the Construction Phase of the Project

10. A preconstruction conference with City departments shall be held prior to the commencement of construction of the Project. For the purposes of this Decision, "commencement of construction" shall occur when the clearing and grubbing (removal of stumps and topsoil) has been initiated. The contractor shall request such conference at least thirty (30) days prior to commencing construction by contacting the Planning Director, Inspector of Buildings, Chief of Police, Chief of Fire Department, Conservation Commission agent, and Engineering Department in writing. At the conference, the Applicant and municipal officials shall agree upon a schedule of inspections. The Applicant shall provide the City with emergency contact numbers as well as the name and telephone number of a designated owner's representative for all Project related communication.

11. During construction of the Project, the Applicant shall conform to all local, state and federal laws regarding noise and vibration. The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area. Exterior construction of the Project shall not commence on any weekday before 7:00 a.m. and shall not continue beyond 6:00 p.m. except for certain operations such as concrete finishing and emergency repairs. Exterior construction shall not commence on Saturday before 8:00 a.m. and shall not continue beyond 5:00 p.m. with the same exceptions. The Building Inspector may allow longer hours of construction in special circumstances, provided that such activity is requested in writing by the Applicant, except for emergency circumstances where oral communication shall be followed by written confirmation. There shall be no exterior construction on any Sunday or state or federal legal holiday. Hours of operation shall be enforced by the Gloucester Police Department as a city ordinance violation.

12. Construction monitoring shall occur as required under the Conservation Commission's Orders of Conditions GWO-07-2 and DEP No. 28-1857, both issued May 24, 2007.

13. The City Council's agents shall be allowed entrance onto and view and inspect the Site during regular business hours to ensure compliance, subject to applicable safety

requirements as established by the Applicant or its contractor, including signing in at the construction field office trailer.

14. Prior to the commencement of construction of the Project, the Applicant shall submit to the Engineering Department, Inspector of Buildings, and the Planning Director a Construction Management Plan for the Project, which includes the following elements and requirements:

A. Material deliveries, contractor equipment, and material removal shall be routed off of Route 128 once the access is established.

B. Construction access/egress gates shall be located at the intersections in the vicinity of the proposed Hotel and proposed ALR.

C. Construction fencing shall be erected for the duration of construction within the buffer zone along abutting parcels to the south and along the boundary of the Fuller School, as shown on the Record Plans. Fencing shall be 6 foot wire fencing with fabric screen.

D. Staging of equipment and material shall be located within the Project. Good faith efforts shall be made to schedule material deliveries to avoid peak traffic hours, and school drop off and pick up. This condition is subject to stricter time constraints if in the opinion of the permit granting authority said good faith efforts have become relaxed.

E. Blasting and excavation shall be conducted according to all city and state regulations including 527 CMR. 13.00 and the Gloucester Code of Ordinances Section 13 Noise, and shall be conducted within the hours set forth in Condition #11. No rock crushing operations will be set up within 100 feet of residential dwellings. No stump grinding or tree chipping apparatus shall be permanently installed or operated within such 100 foot buffer; provided, however, that this condition shall not be construed to prevent tree removal, tree chipping, or tree stump grinding in place within such buffer.

F. Sedimentation and erosion controls, as shown on the Record Plans, shall be maintained and inspected by an independent erosion control monitor on a weekly basis, or as directed by the Conservation Agent or Engineering Department and said inspections shall be reported in writing to Conservation and Engineering Departments.

G. Dust from outside activities shall be controlled. The Applicant and its contractors shall effectuate the following practices to minimize levels dust:

- * Wetting soils that are excavated from unsaturated zones;
- * Wetting equipment during excavation/loading activities;
- * Minimizing dust generation from areas that have been excavated through the wetting of soils, or by other means of stabilizing dust particles;

- * Stockpiles left more than 30 days shall be stabilized;
- * Restricting vehicle speeds and travel routes on the Site;
- * Covering truck beds transporting soils off-site/on-site to prevent dust generation;
- * Sweeping paved areas if a nuisance is created by blowing soil, dust, or debris.

15. The Applicant shall be required to promptly repair any damage, which Applicant causes to sidewalks, street pavement, signs or other fixtures or features within the public right of way, after obtaining permission from the City.

Conditions Pertaining to Traffic

16. Prior to the issuance of the final Certificate of Occupancy, the Applicant shall make (either itself or through payment to third parties) roadway and infrastructure improvements for the Project as follows:

A. Adjustments, including reconstruction of the hardware and phasing modifications at the intersection of Eastern Avenue and Route 128. This shall be initiated after Mass Highway approval and upon issuance of a building permit.

B. The installation of a traffic signal at the intersection of Route 128 and Gloucester Crossing Road shown on plan entitled: Figure 8 – Signalized Intersection included in the TIAS, if the traffic signal is approved by Mass Highway.

C. Striping and lane improvements at Grant Circle, Blackburn Circle and Route 128 Extension subject to the approval of the Massachusetts Highway Department.

D. If the traffic signal is approved by the MHD, the Applicant shall purchase and install the following transponders free of charge to the Municipalities: six (6) transponders to the Gloucester Police Department (one for each cruiser on the road), twelve (12) transponders to the Gloucester Fire Department, and two (2) transponders to the Town of Rockport for their emergency ambulance use.

17. Within 120 days of the issuance of an occupancy permit for the SC, the Applicant shall implement the outlined Transportation Demand Management (TDM) Strategies, identified in the TIAS including:

A. Ridesharing Programs. Ridesharing refers to encouraging commuters to ride in vehicles with other commuters rather than drive alone to work. Given the number of people employed in the area, a coordinated rideshare program could be very successful. The most common forms of ridesharing are carpool and vanpools. The benefits of such programs include less congestion, reduced fuel consumption, and better air quality.

B. Preferential parking, within designated employee parking, for employee carpoolers to the Project detailing the location of reserved parking spaces as proximate as possible to the various building entrances.

C. Establish Gloucester Crossing as a part of CATA's Yellow Line bus route and coordinate accommodations for permanent bus stops on-site, subject to approval by CATA.

D. Sell CATA and MBTA passes at the Shopping Center if permitted by CATA and MBTA.

E. Establish a shuttle service from the proposed ALR to the retail center.

F. Establish Bicycle Facilities, including exterior bicycle racks and bicycle storage.

G. Establish pedestrian links to the existing residential neighborhood to the south of the Site.

18. A Transportation Coordinator shall be appointed and responsible for managing the TDM program for three (3) years after the full buildout. The Transportation Coordinator's duties will include ensuring that the shuttle bus service will run from the Site on a schedule that coincides with employee schedules for arriving and departing the Site according to their scheduled shift changes, so that this service can provide employees with a useful alternative to automobile access. The Transportation Coordinator shall report annually for three (3) years to the City Council on February 1st summarizing the effectiveness of the TDM program. The City Council may suggest adjustments to the TDM program based on such report.

19. Once signalized, all deliveries and truck traffic must enter and leave the Site via Gloucester Crossing Road in the built condition.

Conditions Pertaining to Water and Sewer

20. The Project shall be connected to the City of Gloucester sanitary sewer lines and a copy of the permit shall be provided to the City Council. The Applicant shall pay all applicable sewer fees, including connection and inspection, to the City of Gloucester.

21. The Project shall be connected to the City of Gloucester for domestic water and fire flow. Final fire flows in compliance with state and local regulations shall be certified by the Fire Department.

Conditions Pertaining to Stormwater Management

22. Although further soil evaluations are not mandated at this time, City Staff from the Health Department and Engineering Department shall be present during installation of infiltration components to ensure the drainage system will function as proposed. Should soil conditions be observed during construction that do not match design assumptions, revised plans which address such issues shall be submitted to the Engineering Department for review and approval.

23. The Applicant shall follow the Operation and Maintenance Plan dated November 21, 2006, revised April 18, 2007, for the Project's stormwater management system. In the event that the Applicant fails to maintain the on-site stormwater management system in accordance with such Plan, the City shall give written notice of such failure and the Applicant shall have twenty (20) days to repair the cited failure. In the event of an emergency and an inability to contact the Applicant or its successor in interest, the City may conduct such emergency repair and the Applicant shall permit entry onto the Site to make such emergency repair. In the event the City conducts such emergency repair, the Applicant shall promptly reimburse the City for all reasonable expenses associated therewith; if the Applicant fails to so reimburse the City, the City shall place a lien on the Project or any improvement therein to secure such payment. No entry by the City shall be made without prior written notice to the Applicant and without affording the Applicant a reasonable opportunity of not less than twenty (20) days as aforesaid to cure the maintenance or repair problem.

Conditions Pertaining to Site Safety and Security

24. Following issuance of a Certificate of Occupancy for the Project, the Applicant shall provide and maintain private security service as needed.

25. Prior to the issuance of a Certificate of Occupancy, the Applicant shall prepare and submit detailed fire suppression and detection plans for review by the Fire Department and the Building Department.

26. Each building within the Project shall contain a fire alarm system that is connected to the Fire Department. The operation of the alarm and the method of connection shall be approved by the Fire Department and the Building Department.

27. All fire hydrants shall be located where indicated by the City of Gloucester Fire Chief, including any additional fire hydrants requested by the Fire Chief, said hydrants shall be protected by bollards and shall not be blocked or hidden from view by any vegetation or dumpsters or anything obstructive in nature.

28. Dumpsters shall be screened from view by vegetation and/or fencing and shall be locked when not being accessed by the owner of record.

29. Prior to implementation, the Applicant shall provide a Security Plan for review and comment by the Gloucester Chief of Police and Chief of the Fire Department. To the extent permissible under law, for security reasons, such plan shall not be considered a public document.

30. The Applicant shall be responsible for Site security during and following construction. The Applicant shall pay for public safety details when required during the construction period when site equipment and material deliveries affect public roadways adjacent to the Site, as directed by the Gloucester Police Department.

31. The Applicant shall cooperate with the Gloucester Police and Fire Departments and periodically conduct scheduled mock exercises to address mutual concerns, such as searches for missing persons, intruders and potential evacuation.

32. The Applicant shall annually request that the Gloucester Police and Fire Departments provide to the City Council on February 1st the actual number of emergency 911 calls to the Gloucester Police and Fire Departments during the prior calendar year.

Conditions Pertaining to Open Space

33. In accordance with the Order of Conditions issued by the Gloucester Conservation Commission, the Applicant shall be responsible for monitoring the vernal pools for water quality and habitat impacts for a period of five (5) years. Any required mitigation for wetland impacts shall be initiated or constructed prior to the issuance of a Certificate of Occupancy.

Conditions Relating to Community Benefit

34. The Applicant shall actively recruit in Gloucester for all open staff positions, including making such efforts as advertising jobs in the local Gloucester newspapers and having a job fair in Gloucester for Gloucester residents.

35. The Applicant has agreed to make a voluntary contribution toward the enhancement of downtown economic development by providing the opportunity for interested downtown merchants to be included in Gloucester Crossing advertising material, by providing a kiosk or information stand with information about interested Gloucester retail, restaurants, and attractions, and agrees to work with the Downtown Development Commission and the retail section of the Chamber of Commerce, contributing professional resources toward the improvement of downtown Gloucester.

36. Understanding the importance of sustaining and encouraging a vibrant downtown, the Applicant has voluntarily agreed to match twenty-five (25%) percent of the City's annual contribution to the Downtown Development Fund, a fund collected from parking

meter revenue whose proceeds are distributed by a designated group of downtown merchants. This contribution shall not exceed five thousand (\$5,000.00) dollars per year, shall begin one (1) year after the issuance of a Certificate of Occupancy for the shopping center, and shall continue for five (5) consecutive years.

Conditions Relating to Traffic and Safety

37. The Applicant shall provide at the Applicant's cost and expense a special detail for traffic management during peak holiday events if, in the opinion of the Police Department, vehicular congestion warrants such additional police detail, acknowledging that any detail on the state highway requires prior Mass Highway approval.

Conditions Relating to Phased Development

38. The Applicant shall designate the provider for the Assisted Living Residence at Gloucester Crossing within 18 months of starting construction of the retail portion of Gloucester Crossing.

General Conditions

39. In granting this Special Permit, the City Council has relied upon the oral and written representations made by the Applicant in documents submitted in support of its application and in its appearances at the Committee meetings and the public hearing on the application. Any failure by the Applicant to honor any material representation made to the City Council shall constitute just cause for revocation of this Special Permit in accordance with Section 1.4.2.2(f) of the Zoning Ordinance.

40. Each finding, term and condition of this Decision is intended to be severable. Any invalidity in any finding, term or condition of this Decision shall not be held to invalidate any other finding, term or condition of this Decision.

41. This Permit shall not take effect until notice is filed with the Registry of Deeds for Essex County by the recording of a copy of the Decision. The fee for such notice shall be paid by the owner. Prior to the filing of the Decision with the Registry of Deeds, the Petitioner shall have the seal of the City affixed to same.

CITY COUNCIL VOTE

On **MOTION** of Councilor Peckham and seconded by Councilor Hardy, the City Council

VOTED eight in favor, zero opposed, Councilor Swekla being absent,

TO GRANT A SPECIAL COUNCIL PERMIT UNDER SECTION 2.3.4(49) TO CONSTRUCT A SHOPPING CENTER AND RELATED IMPROVEMENTS AS SHOWN ON THE AFOREMENTIONED PLANS AND TO GRANT THE FOUR (4) SPECIAL PERMITS FOR HEIGHT EXCEPTION FOR BUILDINGS B (11 FEET), C (22 FEET), D (9 FEET) AND F (12 FEET) AS SHOWN ON THE PLANS WITH THE AFOREMENTIONED CONDITIONS.

The minutes of the Planning and Development Committee meetings of February 7, 2007; June 6, 2007, June 12, 2007 (site walk), June 13, 2007, and June 20, 2007 and the minutes of the City Council public hearings of June 26, 2007, August 14, 2007, August 21, 2007, September 4, 2007 and September 8, 2007 and all documents and testimony received during the hearings are incorporated in this Decision.

Accordingly, by said City Council Vote of September 8, 2007:

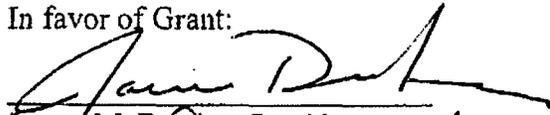
1. The Section 2.3.4(49) Special Council Permit for a Shopping Center is granted; and
2. The Section 3.2.2(footnote 3) four Special Permits for Height Exception are granted.

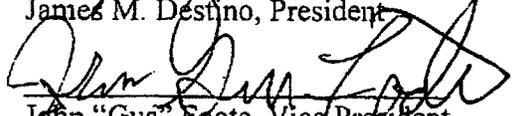
Decision adopted in City Council meeting of October 16, 2007.

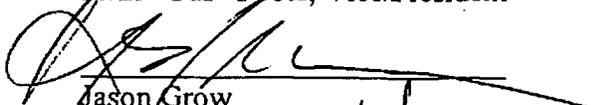
In favor of Grant:

Opposed to Grant:

None

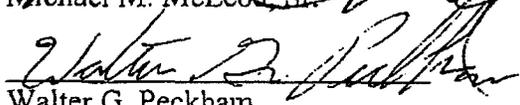

James M. Destino, President


John "Gus" Foote, Vice President


Jason Grow


Jacqueline Hardy

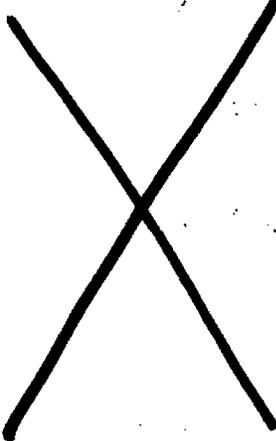

Michael M. McLeod, Sr.


Walter G. Peckham



Sefatia A. Romeo

Bruce Tobey



Addendum to Decision

The Special Council Permit Decision references and incorporates but is not limited to the following documents and materials:

1. The City of Gloucester Zoning Ordinance, issue date June 2005
2. City of Gloucester Assessor's Map 262
3. A set of plans entitled "Gloucester Crossing, Gloucester, Massachusetts Special Permit Site Plan" dated January 3, 2007, revision dates of May 3, 2007, May 11, 2007 and September 18, 2007
4. An application entitled "Gloucester Crossing" submitted to City of Gloucester City Council, dated January 3, 2007 by Sam Park & Company, LLC
5. Drainage Calculations dated November 21, revised April 18, 2007 prepared by John G. Crowe Associates, Inc and Drainage Calculations (to Route 128) dated December 29, 2006, revised April 18, 2007 prepared by John G. Crowe Associates, Inc.
6. Traffic Impact & Access Study Gloucester Crossing, Gloucester, Massachusetts prepared by Traffic Solutions, LLC dated December 27, 2006 and revised April 24, 2007
7. Traffic Impact & Access Study Gloucester Crossing – Full Service Bank, prepared by Traffic Solutions, LLC dated December 21, 2006
8. Minutes of the Planning Board from meetings on February 7, 2007 (Joint meeting with the Planning and Development Committee of the City Council), February 26, 2007, March 12, 2007, March 26, 2007, April 9, 2007, April 23, 2007, and May 14, 2007.
9. Memoranda of Keri Pyke, P.E., PTOE and Joseph San Clemente, EIT of Howard/Stein-Hudson, Traffic Consultant dated April 5, 2007, February 23, 2007, and June 12, 2007
10. Evaluation Survey of Proposed Gloucester Crossing Sewer Connection from New England Civil Engineering Corp, dated February 7, 2007 and April 16, 2007
11. Drainage Design and Calculations Review by Anthony M. Omobono, P.E., Camp Dresser & McKee, Inc. dated April 2, 2007, April 25, 2007, May 2, 2007, April 13, 2007 and August 22, 2007.
12. Supplemental material of Amy Green Environmental Consulting dated May 9, 2007 to Gregg Cadematori for the Gloucester Planning Board, additional material dated May 9, 2007 to Max Schenk for the Gloucester Conservation Commission
13. "Recommendations for Major Project Special Permits – Gloucester Crossing: Shopping Center, Assisted Living Residence, Hotel, and Drive Thru Facility" dated May 14, 2007, issued by the Gloucester Planning Board
14. Minutes of the joint meeting of the Planning and Development Committee and the Planning Board on February 7, 2007; minutes of the Planning and Development Committee meetings of June 6, 2007, June 12, 2007 (site walk), June 13, 2007, and June 20, 2007
15. Memorandum dated May 11, 2007 from Jack Vondras, Public Health Director
16. Memorandum dated June 12, 2007 from Barry McKay, Fire Chief

17. Gloucester Crossing – Fiscal Impact Report, dated September 4, 2007 by Gregg Cademartori, Planning Director
18. Certificate of the Secretary of Energy and Environmental Affairs on the Final Environmental Impact Report dated June 15, 2007
19. Gloucester Conservation Commission Orders of Conditions GWO-07-2 and DEP No. 28-1857, both issued May 24, 2007
20. Zoning Board of Appeals decision dated October 12, 2006.
21. Minutes of the City Council public hearings dated February 20, 2007, June 26, 2007, August 14, 2007, August 21, 2007, September 4, 2007 and September 8, 2007

RIGHT OF APPEAL

This decision may be appealed pursuant to General Laws, Chapter 40A, Section 17, to the Superior Court of Essex County or the District Court of Eastern Essex by bringing an action within twenty days after this decision has been filed in the Office of the City Clerk.

CERTIFICATE OF NOTICE

I hereby certify that notice of this decision was mailed forthwith to the applicant, to the parties in interest designated in G.L Ch. 40A, Section 11, and to every person present at the hearing who requested that notice be sent to him and stated the address to which notice should be sent on this date.

Robert D. Whynott

Robert D. Whynott, City Clerk

CERTIFICATE OF LAPSE OF APPEAL

I hereby certify that twenty (20) days have elapsed from the date of the filing of this decision with the Office of the City Clerk and that no appeal has been filed with said office.

Date: _____

Robert D. Whynott, City Clerk

APPEAL FILED

Date of Filing: 11/2/07

Twenty days have elapsed after the decision in case number

#SCP 2007-01 and an appeal has been filed in the Essex Superior Court

case number 7-2089 entitled Sargent Street Corp. vs. James M. Destino, et al

M.G.L. Ch. 40A, Sec. 11

Robert D. Whynott

Robert D. Whynott, City Clerk

APPEAL DISMISSED

I hereby certify that an appeal of this decision was filed in Essex Superior Court, Civil Action # _____ . The Appeal was dismissed with prejudice by agreement of the parties on _____ .

Robert D. Whynott, City Clerk



Gloucester City Council
CERTIFICATE OF VOTE
Certificate Number: 2008-001

The Gloucester City Council, at a meeting held on, **MAY13, 2008** at 7:00 p.m. In the Fred J. Kyrouz Auditorium, City Hall voted to approve the following action:

IN CITY COUNCIL:

MOTION AS AMENDED: On motion of Councillor Hardy, seconded by Councillor Ciolino the City Council voted 7 in favor, 0 opposed to confirm the opinion of the Planning Director that the proposed modifications as shown on the revised plan dated May 1,2008 are insubstantial pursuant to Condition 4 of the Special Permit issued for the Shopping Center ,voted 9/8/07 ,adopted 10/16/07 ,subject to the condition that if the applicant identifies a proposed use of Building G desiring a drive through facility ,the drive through facility use of this building will require the filing of a new Drive Through Special Permit with the City Council . Further ,that the center of the proposed roundabout not be obstructed with any materials including signage or vegetative plantings that exceed or be allowed to grow in excess of 3 feet in height.

Linda T.Lowe, City Clerk

A TRUE COPY ATTEST

Seal:

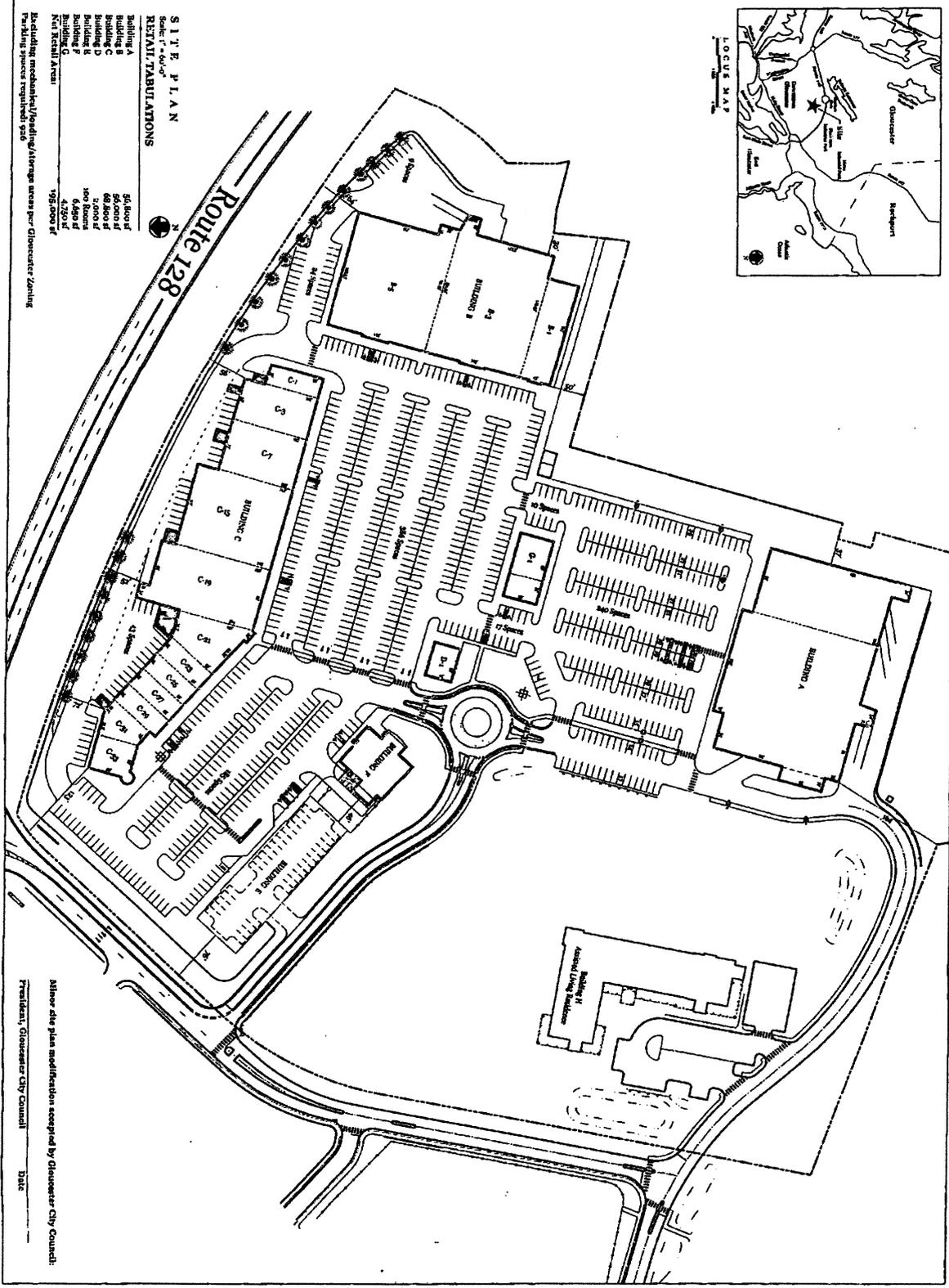
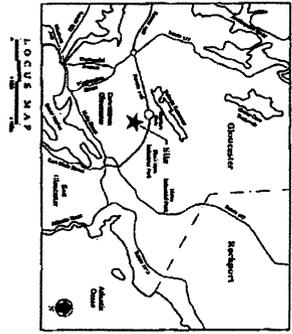
Document: 509871

VOTEAC

ESSEX SOUTHERN DISTRICT REGISTRY OF DEEDS
RECEIVED FOR REGISTRATION

On: 6/9/2010 08:59 AM

Noted on Cert: 80200 BOOK: 444



S.I.T.E. P.L.A.N.
 Scale: 1" = 400'
REMAINING TABULATIONS

Building A	56,400 sq. ft.
Building B	66,000 sq. ft.
Building C	100,000 sq. ft.
Building D	64,800 sq. ft.
Building E	47,500 sq. ft.
Building F	198,000 sq. ft.

Including mechanical/pooling/storage areas per Gloucester Zoning
 Parking spaces required: 648

Minor site plan modification accepted by Gloucester City Council:
 President, Gloucester City Council: _____ DATE: _____

	<p>SP-41</p>	<p>Modified Site Plan Gloucester Crossing 1000 1st St Gloucester, Massachusetts</p>	<p>Developer/Leasing: The Middle Street Company 1000 1st Street, Gloucester, MA 01930 978-686-1111</p>	<p>Developer: SAM PARK & COMPANY 1000 1st Street, Gloucester, MA 01930 978-686-1111</p>	<p>Traffic Engineering: TRAFFIC SOLUTIONS, LLC 1000 1st Street, Gloucester, MA 01930 978-686-1111</p>	<p>Architect: 1000 1st Street, Gloucester, MA 01930 978-686-1111</p>	<p>Landscape Architecture Civil Engineering: 1000 1st Street, Gloucester, MA 01930 978-686-1111</p>
--	---------------------	---	---	---	---	--	--

Hand-drawn/Computer Aided (CAD)



CITY OF GLOUCESTER

GLOUCESTER • MASSACHUSETTS • 01930

CITY CLERK
GLOUCESTER, MA
09 APR 24 AM 10:15

DECISION: Zoning Board of Appeals

PETITIONER: Gloucester Commons, LLC

PETITION: Seeking Variances from Section 4.3.2 and 4.3.3 (signage) to enable Petitioner to erect signs at Gloucester Crossing (Map 262, Lot 13)

The Board finds that proper notice has been given by mailing and advertising. The hearing was held on March 26, 2009 at the Kyrouz Auditorium, City Hall, 9 Dale Avenue, Gloucester, Massachusetts 01930.

Board Members Present:

James P. Movalli, Chair
Virginia Bergmann, Vice Chair
Francis S. Wright, Jr.
Robert G. Stewart
Stephen C. Reynolds

The zoning classification of the property under consideration is EB, Extensive Business.

STATEMENTS OF THE PETITIONER:

Michele Harrison, Attorney, 63 Middle Street, Gloucester, Massachusetts, spoke on behalf of the Petitioner, explaining that relief is requested from the signage requirements of Section 4.3.2 and 4.3.3 of the Zoning Ordinance. It was stated that the Zoning Ordinance is not drafted to reflect a large mixed use commercial project. Modification and adaptation are necessary, especially for a large site with 195,000 square feet of retail, entertainment, and consumer service. The site will have six buildings with multiple tenants. They include the anchor store which will be rented by Market Basket, the junior anchor building with Marshalls and other tenants, the in-line building with Staples and other tenants, two out buildings that will have restaurants, and a smaller out building. All of these buildings will need signs, appropriate to their size, location, and façade. In addition, two free standing signs were identified. They are the tall, free standing pylon sign at the entrance to Gloucester Crossing and the identification sign on the stone wall at the entrance.



499006 (80200) Btch:263929
Southern Essex District Registry
5/21/2009 02:16 PM OCSN Pg: 1/7

The applicant suggested a formula for the calculation of the maximum size envelope for a wall sign. It was proposed that no sign will be larger than 10% of the façade of the building. This is consistent with Section 4.3.2.2(b), but Gloucester has a limitation under 4.3.2.2(a) that the maximum sign area for a single wall sign is 30 square feet. That is an almost invisible sign when a store has a facade of 7,560 square feet (Market Basket) or over 4,000 square feet (Marshalls). Thus, the applicant proposed a formula that will limit the maximum envelope of a wall sign to the product of two (2) square feet times the length of the store frontage.

Drawings, renderings and photographs were shown to the Board illustrating the proportion of the sign using the suggested formula to the façade of the building, the proposed type of sign (most of which are channel letters on the larger stores), location of the sign on the building and suggested sign colors for the major tenants. It was stated that the major tenants spend millions of dollars establishing their logos and product identification which they wish to continue in their new stores.

Generic drawings comparing the size of the wall sign to storefronts were shown so the Board could see the appropriateness and the reasonableness of the proposed formula for maximum size sign. This included blade and awning signs which the applicant wishes to incorporate especially in the in-line stores to provide a more downtown streetscape rather than limit the signs to wall signs. The area in front of the stores will have a wide sidewalk, benches, lamps and plants: all to create a more pedestrian friendly and attractive streetscape. The small awning and blade signs contribute to that downtown look, currently not found in other local shopping areas.

Attorney Harrison also requested a Variance for temporary signs that are over the 10 square feet maximum. The temporary signs would be installed now during construction, kept for a short period after opening, and then removed.

The applicant's representative stated that the larger size of the signs, both temporary and permanent, is necessary because the shopping center is set back from Route 128 and much of the center is not visible. With the proposed 32 square feet temporary signs advertising "coming soon", the center and its prospective tenants will be visible to drivers on Route 128.

It was stated that the internally illuminated signs will comply with the requirements of Section 4.2.1(5).

The applicant stated that the following relief is requested:

1. Seeking relief from Section 4.3.2.2(a) allowing signs greater than 30 square feet but no larger than the product of two (2) square feet times the length of the frontage of the building;
2. Seeking a Variance allowing the language "parallel to the front yard" of Section 4.3.2.2(b) to refer to the building facades that face the parking lot which is the de facto front yard;

3. Seeking a Variance from Section 4.3.2.2(d) allowing the free standing pole to exceed the 20 feet height maximum by 15 feet; and
4. Seeking a Variance from Section 4.3.3(3) that limits a temporary sign of a maximum of 10 square feet for thirty days instead allowing two proposed temporary signs of 32 square feet each for a maximum of nine months or until the installation of the free standing detached sign, whichever should first occur.

The applicant stated that in reviewing the standards for granting a variance that a literal enforcement of the Zoning Ordinance would involve a hardship both for the developer in securing tenants and satisfying their need for clearly identified premises and for the tenants in securing customers who know their stores, logos and locations. This hardship is related to unique characteristics of the site as it is a large lot distant from Route 128 with large buildings. These large buildings need visible but reasonable signs. Attorney Harrison further stated that there is no detriment to the neighborhood as almost all the signs face inward to the parking lot, away from Route 128, the neighborhood, and the abutting school. In addition the project itself will serve the public good by providing retail opportunities for the public and increasing the City's tax base.

It was stated in closing that in issuing the building permit for the signs, the Building Inspector would ensure that the signs met the formula for maximum size and would review the suitability of the sign as to color, lettering, logo, and lighting.

In response to questions from the Board, it was anticipated that the detached pylon sign would be illuminated from above with light shining down on the tenant signs, that the Gloucester Crossing sign in the stone wall would be illuminated by light in the two end cap designs and that the maximum sign size would include the square footage of other smaller signs that might be added to the building or storefront.

In response to a query, it was stated that lights would be extinguished according to Section 4.3.1(5) (b); that is, one hour after the premises closed or 11:00 p.m., whichever is later. If a tenant would be open 24 hours, relief from this requirement would be necessary. This requirement did not apply to the hotel building which would be open 24 hours.

Jackie Hardy, Ward 4 City Councilor, spoke in favor of the Petition after receiving responses to her questions regarding the proposal. She stated that the formula makes sense in providing proportionally appropriate signs.

There were no communications in favor of the Petition. There were no communications in opposition to the Petition.

DISCUSSION BY THE BOARD:

The Board has carefully considered all of the information presented to it by the Petitioner, including the plans, renderings, photographs and testimony relative to the criteria for granting the requested Variances under Section 4.3.2 and 4.3.3. The Board noted that the proposed formula

makes sense as it maintains the existing requirement that all sign area must be less than 10% of the building's façade and eliminates the necessity of coming back to the Zoning Board for each sign for each tenant. All wall signs must fit in this maximum envelope. The hours of illumination are important and if a tenant, other than the hotel, has a business that is open 24 hours a day, the owner must return to the Zoning Board for necessary illumination relief. The Board was not supportive of the multiple signs requested by the Staples tenant in the in-line Building C, requiring that the side and rear signs be eliminated as the Route 128 corridor must be protected from advertising.

The Board continued that the Building Inspector can ensure that the signs meet the maximum square footage area and that they are appropriate as to design. The Board noted that a shopping center needs larger signs and it is unreasonable to impose inappropriate constraints.

With respect to the temporary signs, the Board felt that a nine month period for a temporary sign was too long and that six months would be sufficient prior to the opening of the initial tenants.

The Board commented that the size of the shopping center buildings and the proportionate size of the signs satisfy the criteria to grant the required Variances. The free standing sign needs the additional 15 feet to enable the sign to be visible and to identify the tenants within the shopping center that is set back from the highway.

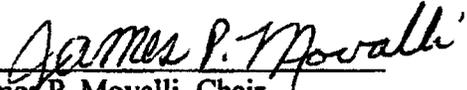
VOTE OF THE BOARD:

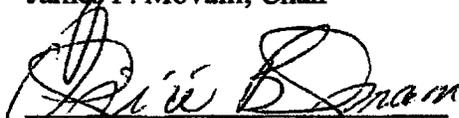
Therefore, the Board votes to grant the following Variances under Section 4.3.2 and 4.3.3 of the City of Gloucester Zoning Ordinance: The Variance allowing the increased 15' height for the pylon sign is conditioned.

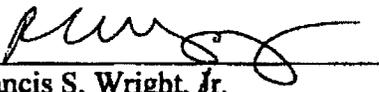
1. a Variance from Section 4.3.2.2(a) allowing signs greater than 30 square feet but no larger than the product of two (2) square feet times the length of the frontage of the building and not to exceed 10% of the square footage of the building's façade as it faces the parking area;
2. a Variance from Section 4.3.2.2(b) allowing façade calculations to refer to the building facades that face the parking area;
3. a Variance from Section 4.3.2.2(d) allowing the free standing pole to exceed the 20 feet height maximum by 15 feet subject to the condition that all tenant signs on the free standing sign shall be consistent in color; and
4. a Variance from Section 4.3.2(3) allowing two temporary signs of 32 square feet each for a period not to exceed six months or until the installation of the free standing detached sign, whichever should first occur.

The afore-granted Variances shall not take effect until such Decision is recorded with the Essex South District Registry of Deeds. The fee for such recording shall be paid by the owner. Prior to recording this Decision with the Registry of Deeds, the Petitioner shall have the seal of the City affixed to same.

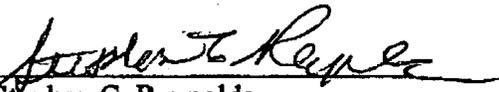
IN FAVOR OF THE SPECIAL PERMIT:


James P. Movalli, Chair


Virginia Bergmann, Vice Chair

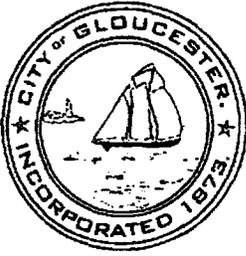

Francis S. Wright, Jr.


Robert G. Stewart


Stephen C. Reynolds

OPPOSED:

NONE



**City of Gloucester
Office of the City Clerk
9 Dale Avenue
Gloucester, Massachusetts 01930**

Office (978) 281-9720 Fax (978) 282-3051

**Office Hours: Monday, Tuesday, and Wednesday 8:30 AM to 4:00 PM
Thursday 8:30 AM to 6:30 PM
Fridays (Memorial Day to Labor Day [Summer Hours]) 8:30 AM to 12:30 PM
Fridays (Labor Day to Memorial Day [Winter Hours]) 8:30 AM to 4:00 PM**

Attachment to Board of Appeals

Gloucester Commons, LLC
C/O Michele Harrison, Attorney
63 Middle St
Gloucester, MA 01930

Map 262, Lot 13 Locus (if different from above): Side St. Hghwy, Gloucester, MA
Lot 1, PC 37077

Addendum to the above:

I, Joanne M. Senos, Assistant City Clerk for the City of Gloucester, hereby certify that this decision is a true and accurate copy of the original decision, which decision is filed in the City Clerk's Office, and that 20 days has elapsed since the filing of such decision, and I further certify that no notice of appeal concerning this decision has been filed in said office.

Joanne M. Senos, Assistant City Clerk

May 18, 2009
Date

Seal:

In Re:

09 JUL 16 AM 9:24

Application of Sam Park & Company, LLC)	
for a Modification of a Special Council Permit)	DECISION OF THE
Pursuant to City of Gloucester Zoning Ordinance)	CITY COUNCIL OF THE
Section 1.5.13 and a Special Council Permit for a)	CITY OF GLOUCESTER
Height Exception Pursuant to)	
Section 3.2.4 (footnote c))	

The City Council of the City of Gloucester, Massachusetts, constituting the Special Permit granting authority under the laws of the Commonwealth of Massachusetts and the Zoning Ordinance of the City of Gloucester, hereby adopts the following findings and conclusions with regard to the application of Sam Park & Company, LLC for a Modification of a Special Council Permit pursuant to Section 1.5.13 of the City of Gloucester Zoning Ordinance and a Special Council Permit for a height exception of thirty (30') feet pursuant to Section 3.2.4 (footnote c) of the City of Gloucester Zoning Ordinance at the Gloucester Crossing Shopping Center.

1. The applicant for the Modification and the Special Council Permit is Sam Park & Company, LLC and the owner of the property is Gloucester Commons, LLC. The property is located at Gloucester Crossing Road and Side Street Highway, Gloucester, and is shown on Assessor's Map 262, Lot 13. The zoning district is Extensive Business (EB). The applicant seeks a Modification of a Special Council Permit under Section 1.5.13 of the Zoning Ordinance. The Special Council Permit for a Shopping Center was adopted October 16, 2007 and filed with the Essex South District Registry of Deeds as Document No. 492995 on Certificate of Title 80200. The applicant also seeks a Special Council Permit as required by Section 3.2.4 (footnote c) for a height exception of thirty (30') feet for Building A at the Gloucester Crossing Shopping Center.
2. The application was filed with the City Clerk on April 16, 2009 and an amendment to the application was filed with the City Clerk on April 28, 2009. The application and amendment are incorporated herein by reference.
3. The Special Permit application is accompanied by and augmented by a set of plans, entitled "Building Storefront, Sections" and "Building Elevations" for RMD, Inc., store location: Market Basket #61 Gloucester, MA dated May 14, 2009.
4. The City Council referred the application to its Planning and Development Standing Committee. The Committee hearing was properly noticed and a meeting was held by the Planning and Development Standing Committee on May 13, 2009.
5. Michele Harrison, attorney for the applicant, presented the proposed application at the Planning and Development Committee meeting. The applicant requested a Special Council Permit to allow a clock tower at Building A of the Gloucester Crossing Shopping Center to allow for greater architectural interest in the long, flat-roofed





Gloucester City Council
CERTIFICATE OF VOTE
Certificate Number: 2010-01

The Gloucester City Council, at a meeting held on, **TUESDAY, March 16, 2010**, at 7:00 p.m. In the Fred J. Kyrouz Auditorium, City Hall voted to approve the following actions:

IN CITY COUNCIL:

MOTION: On motion of Councillor Ciolino, seconded by Councillor Mulcahey the City Council voted by ROLL CALL 8 in favor, 0 opposed to confirm the Planning Director's determination that the modifications to the parking circulation and landscaping for the Gloucester Crossing(Special Permit Decision adopted 10/16/2007 and effective October 18,2007]as shown on the plan submitted with the application for the modifications entitled "SP 4.2 site plan Gloucester Crossing " dated December 14,2009 and shown on the"Landscaping Plan L-1 with revisions"dated December 14,2009 are insubstantial and are approved upon the condition that engineered stamped plans reflecting only those changes determined to be insubstantial be submitted to the City Clerk.

MOTION: On Motion by Councillor Ciolino,seconded by Councillor Verga,the City Council voted 8 in favor,0 opposed to confirm the Planning Director's determination that the modification to the Phase II of Building C as shown on the plan entitled "SP 4.2 site plan Gloucester Crossing"[Special Permit Decision adopted 10/16/2007 and effective October October 18, 2007],dated October 2008 and to allow second story use for retail, service,and /or office use are insubstantial and are approved upon condition that engineered stamped plans reflecting only those changes determined to be insubstantial are submitted to the City Clerk.

A TRUE COPY ATTEST

W. A. P. Love

MOTION: On motion by Councillor Ciolino ,seconded by Councillor Verga,the City Council voted by roll call vote 8 in favor ,0 opposed to confirm the Planning Director's determination that the modification to the storm water management plan as shown on the plan entitled "SP 4.2 site plan Gloucester Crossing"[Special Permit Decision adopted 10/16/2007 and effective October 18,2007] dated December 14,2009 is insubstantial and is approved upon the condition that engineered





Gloucester City Council
CERTIFICATE OF VOTE
Certificate Number: 2018-114

The Gloucester City Council, at a meeting held on **Tuesday, June 26, 2018** at 7:00 p.m. in the Kyrouz Auditorium, City Hall, voted to approve the following:

IN CITY COUNCIL:

MOTION: On a motion by Councilor Gilman, seconded by Councilor Holmgren, the City Council voted by ROLL CALL 9 in favor, 0 opposed, to confirm the Planning Director's determination that the redesign of building footprints for Building C and Building F for Gloucester Crossing as shown on the plans submitted with the application for the modifications dated May 15, 2018 and entitled "Gloucester Crossing Phase 2, Issued for Minor Modification, prepared by Land Strategies, LLC, Stamped by Timothy J. Power, dated May 15, 2018 including the following plan sheets:

- C-100 Overall Site and Overlay Plan
- C-101 Layout and Materials
- C-102 Grading and Drainage Plan
- C-103 Open space Comparison Plan
- C-104 Firetruck Turning Radius and Gloucester Crossing - Building Elevations (date May 15, 2018)"

are insubstantial and are approved upon the condition that an engineered stamped plan reflecting only those changes determined to be insubstantial is submitted to the City Clerk.

SOLE SOUTH REGISTRY DISTRICT
JOHN L. O'BRIEN, JR. REGISTRY OF DEEDS

DATE 6/29/2018
8 : 47 a.m.
36826 235

Joanne M. Senos
Joanne M. Senos, City Clerk

Date: June 28, 2018

APPROVED BY THE MAYOR

[Signature]
Sefatia Romeo Theken

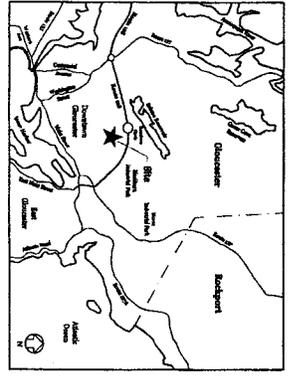
VETOED BY THE MAYOR

Sefatia Romeo Theken

SIGNED THIS 28th DAY OF JUNE, 2018

All Ordinances shall become effective 31 days after passage except
Emergency Orders and Zoning Amendments shall become effective the next day

A TRUE COPY ATTEST
Joanne M. Senos



USE TABLES

CURRENTLY APPROVED

USE	AREA (SQ. FT.)	PERCENTAGE	TOTAL
RESIDENTIAL	188,000	34.4%	188,000
OFFICE	34,400	6.4%	34,400
RETAIL	18,800	3.5%	18,800
INDUSTRIAL	18,800	3.5%	18,800
COMMERCIAL	18,800	3.5%	18,800
RECREATION	18,800	3.5%	18,800
AGRICULTURE	18,800	3.5%	18,800
UNDEVELOPED	18,800	3.5%	18,800
TOTAL	544,000	100%	544,000

PROPOSED MINOR MODIFICATION

USE	AREA (SQ. FT.)	PERCENTAGE	TOTAL
RESIDENTIAL	188,000	34.4%	188,000
OFFICE	34,400	6.4%	34,400
RETAIL	18,800	3.5%	18,800
INDUSTRIAL	18,800	3.5%	18,800
COMMERCIAL	18,800	3.5%	18,800
RECREATION	18,800	3.5%	18,800
AGRICULTURE	18,800	3.5%	18,800
UNDEVELOPED	18,800	3.5%	18,800
TOTAL	544,000	100%	544,000

PARKING TABLES

CURRENTLY APPROVED

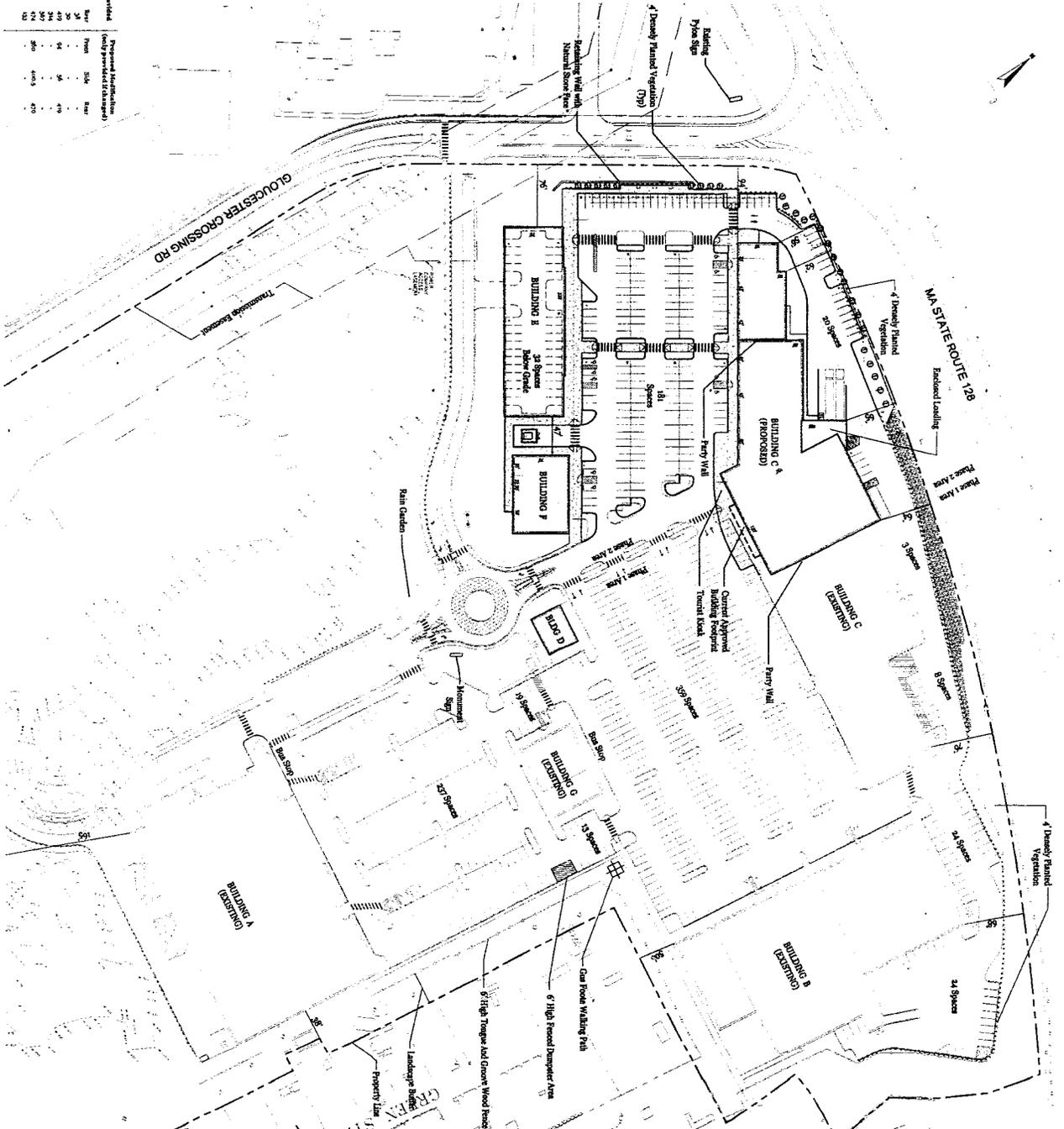
USE	PERCENTAGE	PER SPACE	PER 1000 SQ. FT.	TOTAL REQUIRED
RESIDENTIAL	34.4%	1.0	34.4	188,000
OFFICE	6.4%	1.0	6.4	34,400
RETAIL	3.5%	1.0	3.5	18,800
INDUSTRIAL	3.5%	1.0	3.5	18,800
COMMERCIAL	3.5%	1.0	3.5	18,800
RECREATION	3.5%	1.0	3.5	18,800
AGRICULTURE	3.5%	1.0	3.5	18,800
UNDEVELOPED	3.5%	1.0	3.5	18,800
TOTAL	67.1%	1.0	67.1	364,000

PROPOSED MINOR MODIFICATION

USE	PERCENTAGE	PER SPACE	PER 1000 SQ. FT.	TOTAL REQUIRED
RESIDENTIAL	34.4%	1.0	34.4	188,000
OFFICE	6.4%	1.0	6.4	34,400
RETAIL	3.5%	1.0	3.5	18,800
INDUSTRIAL	3.5%	1.0	3.5	18,800
COMMERCIAL	3.5%	1.0	3.5	18,800
RECREATION	3.5%	1.0	3.5	18,800
AGRICULTURE	3.5%	1.0	3.5	18,800
UNDEVELOPED	3.5%	1.0	3.5	18,800
TOTAL	67.1%	1.0	67.1	364,000

BUILDING SETBACKS

Setback	Top of								
Grade	Grade	Grade	Grade	Grade	Grade	Grade	Grade	Grade	Grade
1	142	142	142	142	142	142	142	142	142
2	142	142	142	142	142	142	142	142	142
3	142	142	142	142	142	142	142	142	142
4	142	142	142	142	142	142	142	142	142
5	142	142	142	142	142	142	142	142	142
6	142	142	142	142	142	142	142	142	142
7	142	142	142	142	142	142	142	142	142
8	142	142	142	142	142	142	142	142	142
9	142	142	142	142	142	142	142	142	142
10	142	142	142	142	142	142	142	142	142



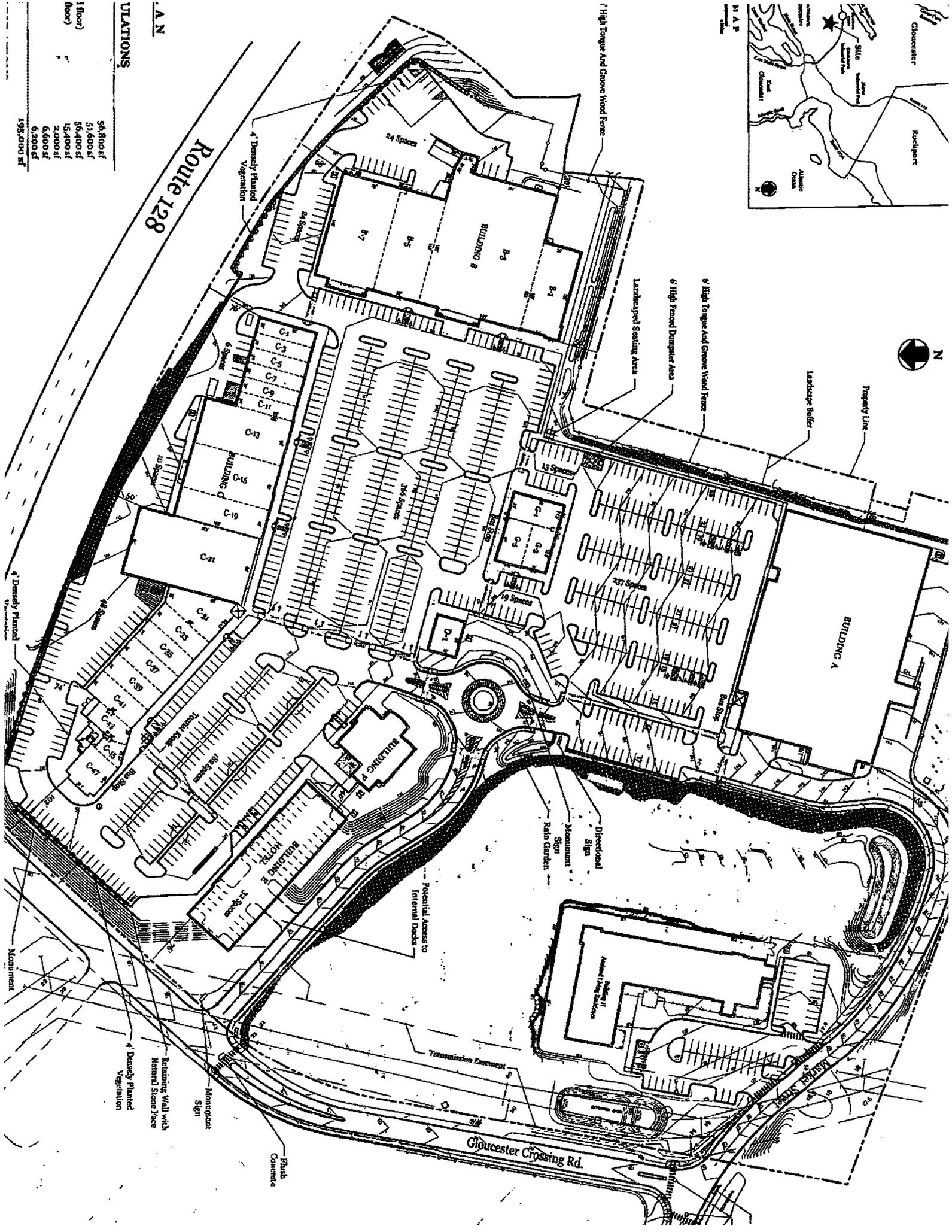
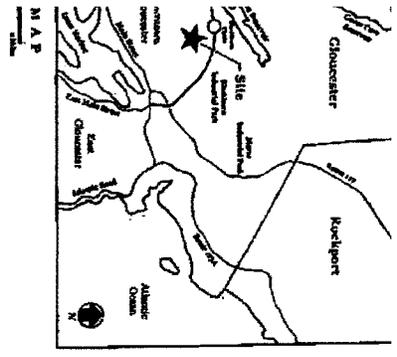
LANDSCAPE NOTE

Minor site plan modification accepted by Gloucester City Council

President, Gloucester City Council

Date

<p>C-100</p>	<p>ISSUED FOR MINOR MODIFICATION MAY 15, 2018</p>		<p>PROJECT: GLOUCESTER CROSSING PHASE 2 ROUTE 128 GLOUCESTER, MA</p>	<p>CONSULTANT: LANDSTRATEGIES 225 River Street, Suite 200, Gloucester, MA 01930 www.landstrategies.com</p>
	<p>OVERALL SITE AND OVERLAY PLAN</p>		<p>CLIENT/APPLICANT: GLOUCESTER COMMONS, LLC 330 SCHOOL STREET SUITE 200 MANSFIELD MA 02048</p>	



VIATIONS

1 (Floor)	56,800 sf
2 (Floor)	51,600 sf
3 (Floor)	56,400 sf
4 (Floor)	15,400 sf
5 (Floor)	21,000 sf
6 (Floor)	6,600 sf
7 (Floor)	6,300 sf
196,000 sf	

building, known as Building A, in which Market Basket Supermarket will be located. The Committee expressed concern that the proposed design was not the design that was anticipated from the original permitting and that the Committee was looking for a design and materials more responsive to the Committee's goals for the shopping center. Michael Oratovsky, AIA, architect for Market Basket submitted a second design with a higher elevation, requiring a height exception of thirty (30') feet. The Committee indicated that the new design created more of a focal point for the shopping center and was in harmony with the look of the rest of the Gloucester Crossing Shopping Center.

6. On the basis of the plans and testimony before the Planning and Development Standing Committee of the City Council, the Committee determined that the criteria of Section 3.2.4 (footnote c) had been met.
7. Specifically, the Committee found under Section 3.2.4 (footnote c), that the increase of thirty (30') feet in height is not substantially detrimental to the neighborhood because of view obstruction, overshadowing, utilities consideration or other adverse neighborhood impacts.
8. On motion of Councilor George, seconded by Councilor Ciolino, the Planning and Development Committee voted three (3) in favor, none (0) opposed, the granting of a special council permit for Sam Park & Co, LLC (applicant) Gloucester Commons, LLC (Owner), Map 262, Lot 13, EB zoning classification, pursuant to section 3.1.6(b) and Section 3.2.4 (footnote c) for a height exception of 30 feet for the proposed clock tower on Building A, (Market Basket) for a total height of 60' AND FURTHER TO ADVERTISE FOR A PUBLIC HEARING.
9. Following proper notice and advertisement, a public hearing was opened on June 16, 2009 before the City Council.
10. Michele Harrison, attorney for the applicant presented the proposed modification to Building A. The applicant requested a Modification of the Special Council Permit pursuant to Section 1.5.13 of the Zoning Ordinance and Condition 4 of the Special Council Permit for the Gloucester Crossing Shopping Center, adopted on October 16, 2007, and a Special Council Permit for a height exception of thirty (30') feet pursuant to Section 3.2.4 (footnote c) of the Gloucester Zoning Ordinance. Attorney Harrison specifically addressed the standard required for a Modification of the Special Council Permit, stating that the Council must find that the interests of the neighborhood and the City are not impaired by the allowance of the Modification. The Special Council Permit for the Shopping Center requires that any changes to the building or grading that increase a building's height beyond that shown on the record documents and beyond that shown on the final approved plans require a Modification of the Special Council Permit under Section 1.5.13 of the Zoning Ordinance. In support of the determination that the interests of the neighborhood and the City are not impaired, it was explained that the modification of Building A's height will allow more diversity in the design elements of the roofs of the various buildings in the Shopping Center.

Without the architectural detail of the proposed clock tower, Building A would be far less appealing. The clock tower provides architectural detail, breaks up the long, flat roof, and adds consistency by incorporating a tower feature that is reflected on the other side of the plaza on Building C.

11. Michael Oratovsky, AIA, illustrated by the use of elevations of Building A that the tower is proportional to the size of the building, that high quality and durable materials would be used, and that various natural materials would be used including New England brick, shingles, gray granite and a material similar to limestone. He further indicated that there would be a clock face on each of the four sides, all internally illuminated.
 12. Attorney Harrison explained that in granting a height exception the council must determine that the proposed increase of thirty (30') feet is not substantially detrimental to the neighborhood because of view obstruction, overshadowing, utilities consideration or other neighborhood impacts. Given the location of Building A, there is no issue of view obstruction, overshadowing, or utilities consideration. The illumination for the faces of the clock will comply with the standards stated in the Lighting Ordinance. It was noted that although the height is calculated from preconstruction grades and uses all building corners according to the height calculation in the Zoning Ordinance, the increased height does not apply to the entire Building A, but is limited to the height of the clock tower only.
 13. There were no communications in favor of the proposed project.
 14. There were no communications in opposition to the proposed project.
- The public hearing closed.
15. Throughout its deliberations the City Council has relied on the statements of the applicant and its representatives, all as made at the public hearing.
 16. Whereupon, having considered the entire record herein, including all minutes of the Planning and Development Standing Committee and all testimony and documents received at the Council hearing, the Council considered and determined that the criteria of Section 1.5.13 and Section 3.2.4 (footnote c) had been met. The City Council found that the proposed modification of the height of Building A does not impair the interests of the neighborhood and the City and in addition found that the proposed increase of thirty (30') feet for Building A is not substantially detrimental to the neighborhood because of view obstruction, overshadowing, utilities consideration or other adverse neighborhood impacts.
 17. The Planning and Development Committee reported that at its meeting of May 13, 2009, on motion of Councilor George, seconded by Councilor Ciolino, the Planning and Development Committee voted three (3) in favor, none (0) opposed, the granting of a special council permit for Sam Park & Co, LLC (applicant) Gloucester

Commons, LLC (Owner), Map 262, Lot 13, EB zoning classification, pursuant to section 3.1.6(b) and Section 3.2.4 (footnote c) for a height exception of 30 feet for the proposed clock tower on Building A, (Market Basket) for a total height of 60'.

Amendment to the main motion: On motion of Councilor Hardy, seconded by Councilor Romeo Theken, the City Council voted 6 in favor, 0 opposed to amend the main motion to include the following conditions:

- 1. That no advertising materials be positioned on any location on the tower;**
- 2. That the clocks be kept on time and maintained;**
- 3. That any lighting complies with the lighting ordinance.**

Upon motion of Councilor Hardy, seconded by Councilor Ciolino, the City Council voted by ROLL CALL, six (6) in favor (Tobey, Romeo-Theken, Ciolino, Foote, Grow, Hardy), none (0) opposed, the granting of a special council permit for Sam Park & co., LLC (applicant) Gloucester Commons, LLC (owner), Map 262, Lot 13, EB zoning classification, pursuant to section 3.1.6(b) and Section 3.2.4 (footnote c) for a height exception of 30 feet for the proposed clock tower on Building A, (Market Basket) for a total height of 60' with the following conditions:

- 1. That no advertising materials be positioned on any location on the tower;**
- 2. That the clocks be kept on time and maintained;**
- 3. That any lighting complies with the lighting ordinance.**

The following general conditions shall apply:

1. In granting the Modification and the Special Council Permit, the City Council has relied upon the oral and written representations made by the applicant in documents submitted in support of its application and in its appearances at the Committee meeting and the public hearing on the application and the final plan for the project. Any failure by the applicant to honor any material representation made to the City Council shall constitute just cause for revocation of this Special Permit in accordance with Section 1.5.13 of the Zoning Ordinance.
2. The Applicant/Owner is required to provide documentary evidence to the City Council proving that all conditions specified in the City Council permit have been complied with, at which time the City Council will issue a "Certification of Conditions Complete" as required by Rule 25, Part II, 5(i) City Council Zoning Rules of Procedure. The term "applicant/owner" includes any condominium association created subsequent to this Decision.
3. Each finding, term and condition of this Decision is intended to be severable. Any invalidity in any finding, term or condition of this Decision shall not be held to invalidate any other finding, term or condition of this Decision.

4. The Modification of the Special Council Permit for the Shopping Center under Section 1.5.13 and the Special Council Permit under Section 3.2.4.(footnote c) shall not take effect until notice is recorded with the Registry of Deeds for Essex County by the recording of a copy of the Decision. The fee for recording of such notice shall be paid by the owner. Prior to the recording of the Decision with the Registry of Deeds, the Petitioner shall have the seal of the City affixed to same

The following specific conditions shall apply:

1. No advertising materials shall be affixed to the clock tower.
2. The store owner shall endeavor to have the four clock faces show a consistent and accurate time.
3. The clock faces shall only be internally illuminated.
4. The use of a natural copper for the roof material is encouraged.

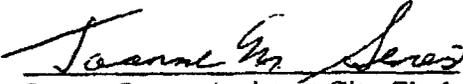
The minutes of the June 16, 2009 City Council public hearing and all documents and testimony received during the hearing are incorporated in this Decision.

Accordingly, by said City Council Vote of June 16, 2009, the Modification of a Special Council Permit under Section 1.5.13 for the Special Council Permit for a Shopping Center adopted October 16, 2007 and the Section 3.2.4 (footnote c) Special Council Permit for a height exception of thirty (30') feet are hereby granted.

Decision adopted in City Council meeting of July 14, 2009.

Pursuant to Rule 25 of the City Council Rules of Procedure, the President of the City Council and the City Clerk have signed this Decision demonstrating that it is a true and accurate reflection of the May 27, 2009 vote of the City Council sitting as the Special Permit Granting Authority.


Bruce H. Tobey, President of the City Council


Joanne Senos, Assistant City Clerk

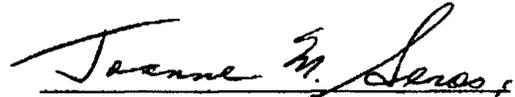
Dated: July 14, 2009

RIGHT OF APPEAL

This decision may be appealed pursuant to General Laws, Chapter 40A, Section 17, to the Superior Court of Essex County or the District Court of Eastern Essex by bringing an action within twenty days after this decision has been filed in the Office of the City Clerk.

CERTIFICATE OF NOTICE

I hereby certify that notice of this decision was mailed forthwith to the applicant, to the parties in interest designated in G.L. Ch. 40A, Section 11, and to every person present at the hearing who requested that notice be sent to him and stated the address to which notice should be sent on this date.


Joanne M. Senos, Assistant City Clerk

CERTIFICATE OF LAPSE OF APPEAL

I hereby certify that twenty (20) days have elapsed from the date of the filing of this decision with the Office of the City Clerk and that no appeal has been filed with said office.

Date: 04-1-09


Joanne M. Senos, Assistant City Clerk

APPEAL FILED

Date of Filing: _____
Twenty days have elapsed after the decision in case number
_____ and an appeal has been filed in the _____ Court
case number _____ entitled _____ vs. _____

Joanne M. Senos, Assistant City Clerk

APPEAL DISMISSED

I hereby certify that an appeal of this decision was filed in Essex Superior Court, Civil Action
_____. The Appeal was dismissed with prejudice by agreement of the parties on
_____.

Joanne M. Senos, Assistant City Clerk



CITY OF GLOUCESTER
GLOUCESTER, MASSACHUSETTS 01930

CITY CLERK
GLOUCESTER, MA

2018 OCT 17 AM 10:36

CITY OF GLOUCESTER
Special Council Permit - Application

December 21, 2018

(Public hearing to be held no later than
above date)

In conformance with the requirements of the Zoning Ordinance of the City of Gloucester, the undersigned hereby applies for a Special Council Permit (CC or CCS) in accordance with Section 1.8.3 of the Ordinance and other Sections as listed below:

Type of Permit (Give specific section of Zoning Ordinance)

(1) Conversion to 8-unit residential use (Sec. 2.3.1,#8 & 1.8), (2) Distance between principal buildings (Sec.3.2.2, fn e.),

Minimum lot area per dwelling unit (Sec. 3.2.2, fn a.) and (4) minimum open space per dwelling unit (Sec. 3.2.2, fn a.).

Applicant's Name: The Bevilacqua Company, Inc.

Owner's

Name: Son, LLC

(if different from applicant)

Location: 116 East Main Street Map # 59 Lot # 53
(Street Address)

Zoning Classification: NB - Neighborhood Business

- Attached is a list of owners (with complete addresses) of land directly opposite on any public or private street or way, direct abutters, and abutters to the abutters of land within three hundred (300) feet of the property line, as they appear on the most recent City of Gloucester Assessor's Maps and Tax list.
- Attached is a listing of criteria set forth in Section 1.8.3 of the Zoning Ordinance, including any supportive material or comments the applicant may wish to include (i.e. ZBA decisions, Order of Conditions, etc.) if necessary.
- Attached are the necessary plans as set forth in Section 1.5.3, of the Zoning Ordinance, which at a minimum consist of an accurate plot plan (to scale) showing existing and/or proposed building or structures.

City of Gloucester - Action	
Fee:	\$ 350. ⁰⁰
City Clerk (received):	<u>10-17-18</u>
City Council (received):	<u>10-23-18</u>
Public Hearing (ordered)	_____
Public Hearing (opened):	_____
Public Hearing (closed):	_____
Final Decision:	_____
Disposition	_____
(Approved, Denied, Approved w/conditions)	

APPLICANT: Paul Bevilacqua
Name (Signature)

By Paul Bevilacqua, President

Address
24 Sturbridge Rd, Wellesley, MA 02481
Telephone (781) 237-0009

Certified for completeness:
Building Inspector: AMC Date: 10.17.18
Planning Director: SMC Date: 10/17/18

Section 1.8.3 (Use additional sheets, if necessary)

1. Social, Economic, or community need served by the proposal:

See Attachment A (pp. 9 – 10)

2. Traffic flow and safety:

See Attachment A (p. 10)

3. Adequacy of utilities and other public services:

See Attachment A (p. 11)

4. Neighborhood character and social structure:

See Attachment A (p. 11)

5. Qualities of the natural environment:

See Attachment A (p. 11 – 12)

6. Potential fiscal impact:

See Attachment A (p. 12)

The applicant is advised that City staff is available to assist the applicant in preparing the Application, including the Inspector of Buildings and City Planner

Application for Special Permit

The undersigned applicant hereby applies for a special permit under M.G.L., Ch. 40A, § 9 as follows.

1. Applicant (includes equitable owner or purchaser on a purchase and sales agreement):

Name: The Bevilacqua Company, Inc.

24 Sturbridge Rd, Wellesley, MA 02481

Address: _____

Tel.# Days (781) 237-0009 Evenings same

Check here if you are the purchaser on a purchase and sales agreement.

2. Owner, if other than applicant:

Name: SON, LLC

Address: c/o Seaside Legal Solutions, P.C., PO Box 1172, Gloucester, MA 01931

Tel.# Days (978) 627-4500 Evenings Same

3. Property:

Street address: 116 East Main Street

Assessor's Map: 59 Lot: 53

Registry of Deeds where deed, plan, or both records:

Land Court Dept. of Essex Southern District Registry of Deeds

Deed recording: Book Doc 576930 Page Cert of title No. 89927

Plan recording: Plan # Land Court Plan No. 15534B

Property is located in the Neighborhood Business (governed by R-10 Zoning) zoning district.

4. Nature of relief requested: Special permits for 8 unit use, distance between buildings, minimum lot area and Open space per dwelling unit of the Zoning Ordinance/By-Law

which authorizes The City Council, in accordance with secs. 2.3.1,#8 & sec 3.2.2 footnotes a. & e., to permit An 8-unit use, lesser than required distance between principal buildings and lesser than the minimum lot area per dwelling unit and open space per dwelling unit.

Detailed explanation of request:

Applicant, the buyer under a purchase and sale agreement, desires to tear down the restaurant building on site and replace it with an eight-unit residential use housed in two detached buildings located toward the rear of the lot with units containing two-bay, drive-under garages and two floors of living space above. Remainder of the site will be dedicated to open space/landscaping and additional parking.

5. Evidence to support grant of special permit:

Because of reasons set forth below, the special permit requested will be in harmony with the intent and purpose of the Zoning Ordinance/By-Law:

See Attachment A: (1) Special permit for spacing between buildings (pp. 12 - 13), (2) Special permit to reduce required lot area per dwelling unit (pp. 13 – 15) and (Special Permit to reduce open space per dwelling unit (pp. 15-16).

Because of reasons set forth below, the special permit requested will meet the additional requirements of the Zoning Ordinance/By-Law as follows:

See Attachment A. (See Section 5, above)

If someone other than owner or equitable owner (purchaser on a purchase and sales agreement) is the Applicant or will represent the Applicant, owner or equitable owner, must designate such representative below.

Name of Representative: Salvatore J. Frontiero, Esq.

Address of Representative: Frontiero Law Office, P.C., 46 Middle Street, Gloucester, MA 01930

Tel. # Days (978) 283-2850 Evenings Same

Relationship of representative to owner or equitable owner:

Attorney for equitable owner/applicant _____

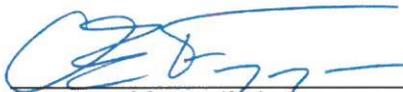
I hereby authorize Salvatore J. Frontiero, Esq. to represent my interests before the
Special Permit Granting Authority with respect to this Special Permit Application.

(Signed by owner/equitable owner) Paul Bevilacqua 

I hereby certify under the pains and penalties of perjury that the information contained in this
Application is true and complete.

Paul Bevilacqua  10/2/18
Signature of Applicant Date

PAUL BEVILACQUA, PRESIDENT

Joel Favazza  9/24/18
Signature of Owner, if other than Applicant Date

Joel Favazza, duly authorized attorney for SON, LLC

Paul Bevilacqua  10/2/18
Signature of Equitable Owner who is filing application to satisfy condition of Purchase and Sales agreement Date

PAUL BEVILACQUA, PRESIDENT

ATTACHMENT A

PETITIONER: BEVELICQUA COMPANY, INC.

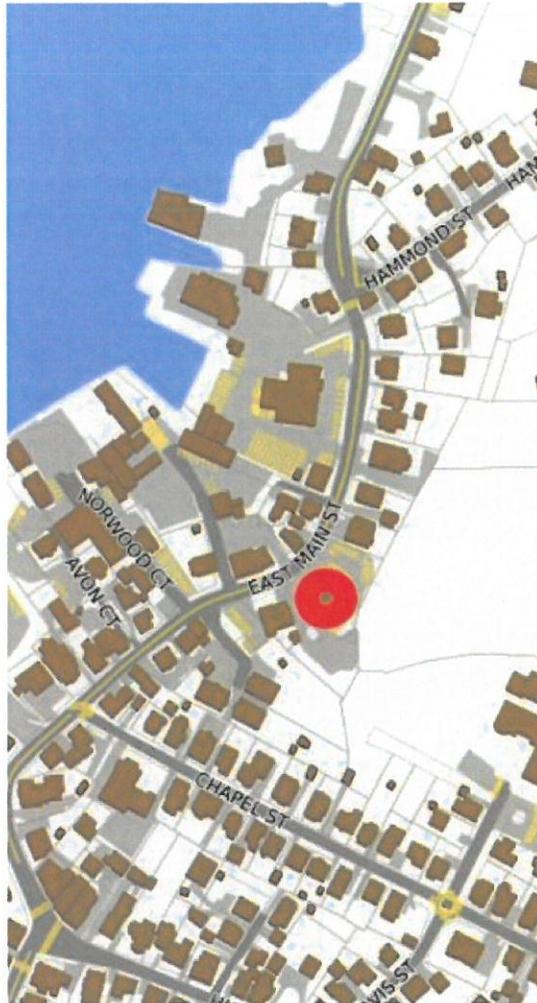
PROPERTY: 116 EAST MAIN ST

ASSESSOR'S MAP 59, LOT 53

I. Background

A. PROPERTY HISTORY

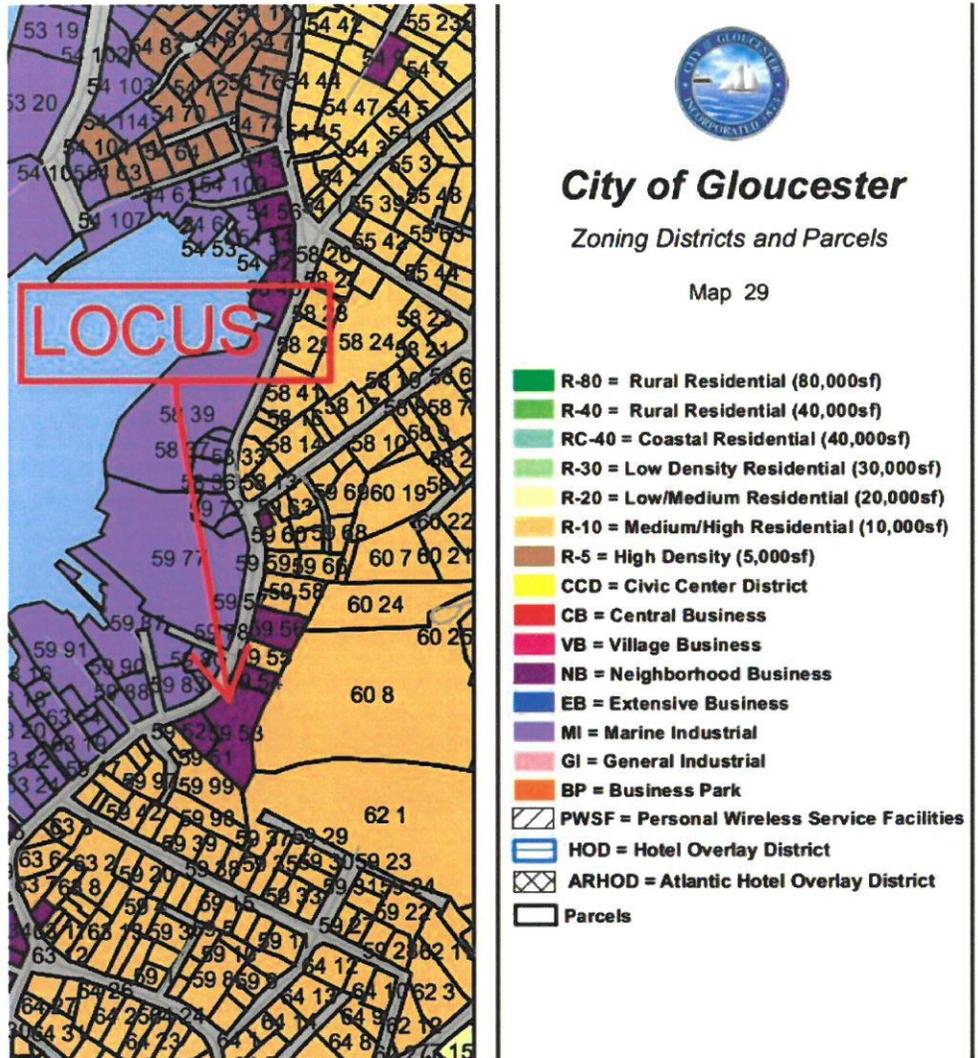
The property at 116-118 East Main Street is the site of a currently abandoned restaurant. Over the last 25 or so years it has been owned and operated by a number of different parties under a number of different names, none of which were sustainable as restaurants for a long duration. The applicant, the Bevilacqua Company, Inc., is a buyer under a purchase and sale agreement to purchase the parcel from the current owner, Son, LLC, subject to obtaining necessary permits.



B. ZONING AND EXISTING CONDITIONS

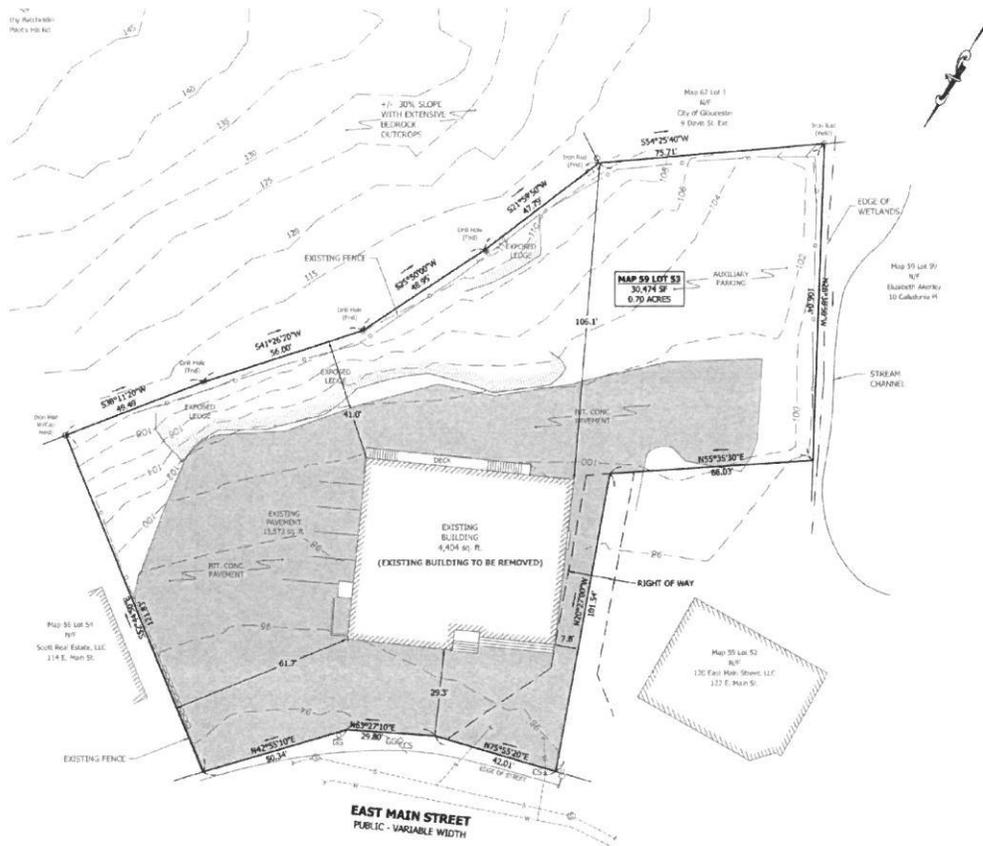
The property is zoned for neighborhood business (which allows residential usage) and three other parcels in the immediate area are also zoned similarly. The lot is generally surrounded by residential zoning (R-10, Medium to High Density Residential Zone) on the same side of the street and Marine Industrial zoning across the street.

Neighborhood Zoning:



The parcel is 30,474 sq. ft. in size, which greatly exceeds the 20,000 sq. ft. minimum required by the zoning ordinance for multi-family use. Much of the parcel is currently either paved or occupied by a large ledge outcropping in the rear. The parcel has a unique shape with a panhandle-like appendage to the southwest and has a wetlands resource area along its western border. The land generally slopes from the rear to the front, with some exposed bedrock in the rear of the parcel. The parcel abuts a gas station/convenience store to the west and a four-family residence to the east. To the rear/south is a residence and Easter Gloucester School. The buildings on both parcels to the rear are hundreds of feet from the Site and located at a much higher elevation. Existing conditions are shown on the map below.

Existing Conditions:



C. PROBLEMS WITH CURRENT USAGE

The property currently suffers from the following negative impacts on the neighborhood:

- Building is vacant, which can provide habitat for rodents and generally detracts from the neighborhood appearance. Lot has been used for dumping and for transient vehicle storage.
- Provides uncontrolled stormwater runoff onto East Main Street. In the winter, this leads to an icing problem on the street in front of this property and associated pavement deterioration
- Has no curb or distinct entrance to control vehicles traversing onto and off of East Main Street. The property shares an uninterrupted, large curb cut with the adjacent convenience store/gas station, thereby causing a confusing and dangerous criss-cross type entry and exit with the convenience store property.
- Has no formal plantings, except one or two ornamental trees and some opportunistic vegetation growth.

D. SUMMARY OF PROPOSED PROJECT

The proposed usage of 116 East Main Street would provide for eight two or three-bedroom residences located in two detached structures, each containing four units. Up to four of the units will be provided with the third bedroom option and the total number of bedrooms in the project will not exceed twenty. One of these residences would be subject to the inclusionary zoning requirements and be subject to a deed restriction insuring affordability in perpetuity. The units would have amenities such as a two-bay garage, a deck, and an outdoor recreational area to the rear. The buildings have been designed to provide for an architecturally unique character on the front and side facades. The exterior will feature screening, formal planting areas, wildlife habitat planting areas, guest parking spaces and an electric vehicle parking space. The total number of parking spaces, inclusive of the garages, would be 23. The structures would be located approximately 68 feet distant from East Main Street at their closest point. The proposed site plan and elevations are shown below, as well as rendering showing what the site would look like from East Main Street.

Proposed Site Plan:



Building Façade Detail:



Four-unit building façade:



Representative Street View:



E. PROJECT BENEFITS

Approval of this project will provide the following benefits to the neighborhood and city:

- Providing needed housing in the City as identified in the City's Housing Production Plan. As stated in the draft plan "Gloucester will need 434 new multifamily units...between 2010 and 2020". These two and three-bedroom units in a multifamily configuration would provide nearly 2 % of the multi-family housing need anticipated by the city;
- Eliminating an abandoned restaurant that has been a recent eyesore and nuisance to productive use;
- Removing possibility of a noisy restaurant being re-established;
- Providing one deed-restricted affordable housing unit would;
- The proposed buildings would fit in with the street façade, would be set back from the street and in conformance with the height requirements (note the buildings at their closest point are 68' from the front property line);
- Plantings will be placed alongside the nearby wetlands area to enhance wildlife habitat;
- The existing rusted fence around much of the property will be removed and replaced;
- In addition to each unit being provided with two garage parking spaces, guest parking for seven cars will be provided to assure that ample visitor parking can occur without burdening neighborhood streets;
- A dedicated electric vehicle parking space with charger will be provided;
- Snow management, trash/recycling collection, fire department ambulance access, water supply, sewage disposal and stormwater management have all been considered and factored into the design;
- The four proposed driveway lights will be designed to not provide glare upwards;
- Extensive landscaping will be provided along the street façade and adjacent to the guest parking areas. The green space will be increased significantly from current conditions;

- Short-term construction job creation;
- Eliminating water sheet flow onto East Main Street;
- Eliminating uncontrolled vehicle access to and from East Main;
- Eliminating parking which is easily visible by others on East Main Street and directing that to indoor or otherwise screened parking;
- At the request of neighbors, there will not be blasting any bedrock. This condition is a special condition of the Zoning Board of Appeals decision in this matter;
- Providing an extensive increase in property tax revenue;
- Eliminating the presence of large delivery trucks and late-night noise which used to occur and could occur again if a restaurant were to open again at this location;
- Reducing vehicle travel from a restaurant use to an 8 unit residential use as the residential use requires far less vehicle trips per day on busy East Main Street;
- Limiting neighborhood impact as no residences exist for hundreds of feet behind this proposed project, with the nearest one being some 75' higher in grade than the elevation of the proposed project; and
- Positioning sun room and living area, as well as recreational areas to the rear of each unit where they cannot be seen from the street.

F. COMPLIANCE WITH REGULATORY REQUIREMENTS

Although setback relief was required and obtained from the Zoning Board of Appeals, the project fully complies with the following dimensional/use requirements the Gloucester Zoning Ordinance: (1) lot area, (2) lot frontage, (3) lot width, (4) front yard setback, (5) maximum lot coverage, (6) building height, (7) minimum front yard vegetative cover and (8) minimum required parking spaces and other related parking requirements. As to parking spaces, the Zoning Ordinance requires a minimum of twelve parking spaces for eight unit use. Here, 23 spaces are being provided. Moreover, the property will become more conforming as front yard setback and front yard vegetative cover.

Nonetheless, three variances were needed and have been obtained from the Gloucester Zoning Board of Appeals, as follows:

1. To reduce the required left side yard setback from 34.0' to 7.6'
2. To reduce the required right side yard setback from 34.0' to 15.2'
3. To reduce the required rear yard setback from 34.0' to 4.3'

II. Special Permits

Four special permits are being requested from the Gloucester City Council. Described below are the requests and an explanation of how the standards for issuance of such permits have been met:

A. SPECIAL PERMIT TO ALLOW EIGHT-FAMILY USE

The Gloucester Zoning Ordinance Section 2.3.1 (8) requires a Special Permit from the City Council for a multi-family project of eight units. The Gloucester Zoning Ordinance Section 1.8.3 provides the standards of review to be applied by the City Council for this Special Permit, as follows:

that the proposed use will be in harmony with the general purpose and intent of this ordinance, and that it will not adversely affect the neighborhood, the zoning district or the city to such an extent as to outweigh the beneficial effects of said use. In reviewing special permit applications, SPGA shall consider, but not be limited to, the following six factors:

- (a) The social, economic and community needs that will be served by the proposed use;
- (b) Traffic flow and safety;
- (c) Adequacy of utilities and other public services;
- (d) Neighborhood character and social structure;
- (e) Qualities of the natural environment;
- (f) Potential fiscal impact.

Compliance with the general purpose and intent of the zoning ordinance:

The purpose and intent of the Zoning Ordinance is described as follows:

“To lessen congestion in the streets; to conserve health; to secure safety from fire, flood, panic and other dangers; to provide adequate light and air; to prevent overcrowding of land; to avoid undue concentration of population; to encourage housing for persons of all income levels; to facilitate the adequate provision of transportation, water, water supply, drainage, sewerage, schools, parks, open space and other public requirements; to conserve the value of land and buildings, including the conservation of natural resources and the prevention of blight and pollution of the environment; to encourage the most appropriate use of land throughout the city”

As stated above, this project will: (1) reduce traffic burden in the street; (2) reduce fire risk; (3) allow adequate light and air; (4) provide for needed housing, including one affordable unit; (4) have adequate public utilities; (5) enhance the value of the land, and (6) will conserve nearby natural resources.

Compliance with the 6 specific items identified in section 1.8.3 of the zoning ordinance:

- a) Social, economic and community needs
The City of Gloucester, through its Housing Production Plan, has identified a pressing need for multi-family housing in the city. This project will provide about two percent of

the stated need for multi-family housing in Gloucester. The City of Gloucester, through the Zoning Ordinance, also identifies the need for affordable housing. This project will provide one unit that is deed restricted in perpetuity. As evidenced by the recent history of the property, the restaurant use did not serve community needs here as shown by the fact that such restaurant use has been problematic, subject to high turnover and arguably not economically viable.

b) Traffic flow and safety

According to the Institute of Transportation Engineers data, it would be expected that, based on the square footage of the restaurant on the Assessor's database (5,127 sq. ft.) and the standard expectation of 4.5 trips per 1,000 square feet, the restaurant use would have generated 23 vehicle trips during the peak P.M. hour. Based on the Institute of Transportation Engineers data for proposed residential townhouses (8 units proposed) and their expectation that each unit would generate 0.52 trips during the peak P.M. hour, it is expected that there would be 4.2 trips during the peak P.M. hour for an eight-unit residential use. Moreover, an analysis performed by applicant's engineer confirms that ambulance access to this property can be achieved from vehicles approaching from either direction on East Main Street. Accordingly, there is adequate emergency vehicle access.

Most important, the current traffic configuration is detrimental to traffic flow and safety. Part of the restaurant parking involves the use of spaces in front of the building and located perpendicular to the street. These spaces are the most attractive to patrons as they are close to the front entrance. However, exiting these spaces requires backing out on to East Main Street, which is one of the city's busiest thoroughfares. In addition, there is one, large open and undefined lot/open curb cut between this property and the convenience store/gas station adjacent to it. This results in a sometimes dangerous criss-crossing, whereby vehicles exiting the gas pumps can come into potential conflict with vehicles exiting the restaurant and backing onto East Main Street.

The above detrimental parking and traffic conditions would be completely eliminated if this project is approved. Here the applicant proposes to eliminate the large and undefined curb cut that exists between the property and the convenience store/gas station. The property would be served by one curb cut toward the middle of the lot and away from the convenience store gas station. Moreover, any backing out of vehicles onto Main Street would be completely eliminated. The change in use would also eliminate the frequent visits of large trucks that would otherwise be necessary for the delivery of restaurant supplies. Lastly, the project would provide nearly three times the required number of parking spaces required under the Zoning Ordinance, thereby assuring that all parking for both residents and visitors will be accommodated on site.

c) Adequacy of utilities and other public services

The restaurant at this site was served by water and sewer services from the City of Gloucester, and served with gas and electricity from National Grid. It is presumed that these were all adequate for the former restaurant usage and thus will be adequate for the proposed residential uses. In fact, the residential use may result in less water consumption than a restaurant use, which tends to be very water use intensive. Moreover, any potential for problems caused by inadequate grease traps and the like often associated with restaurant use would be eliminated entirely.

The parcel was not previously served by any type of stormwater management system and run-off would collect on East Main Street, causing potential icing problems. The proposed project would create a storm water collection system on the parcel which will then tie into the City of Gloucester drainage network located beneath East Main Street. The applicant is aware of no other known utility or public service related issues that would arise as a result of conversion to eight-family residential use.

d) Neighborhood character and social structure

The neighborhood at issue contains an eclectic mixture of uses from retail, function rooms, marinas, single family homes and multi-family homes. Unlike other parts of Gloucester that are distinctly one type of usage (i.e. single family house on Eastern Point or industrial usage in Blackburn Park), this neighborhood is characterized by its diversity of uses and variety of structure sizes and types. As such, this project would fit into this broad array of uses and would be a visually attractive addition to the area.

Also, as explained above, the loss of the restaurant use will have not have a detrimental effect on the social structure of the neighborhood. The recent troubled history of the restaurant use speaks for itself as to whether having a neighborhood eatery enhances this neighborhood's social structure or detracts from it. The recent vacant and dilapidated condition of this property indicates that the present use is no longer economically viable and in fact has a negative effect on neighborhood character and social structure. It is important to note that any potential for late night noise as patrons exit at closing time and the emanating of odors from cooking or storage of restaurant waste will be completely eliminated, thereby having a positive effect on neighborhood character.

e) Qualities of the natural environment

Much of the existing parcel is comprised of asphalt or compacted soil. The vegetated resource area located to the west of the site will be enhanced by a native species planting area on this site that will provide for wildlife habitat. Several areas of planting and green space are also to be located on the site. At the conclusion of the project there will be approximately 4,000 less square feet of pavement on this site than currently exists. The

project will also be subject to the jurisdiction of the Conservation Commission, thereby ensuring that the adjacent wetland resource area is protected.

Most importantly, the property will have a dramatic and positive impact with regard to much needed green space as compared to current conditions. As stated, the property would become compliant with the front yard vegetative cover requirements of the Zoning Ordinance. Presently, there is one tree located within a small “island” of green space within what appears to be a sea of pavement. The proposed use would provide for a greater number of trees and much more permeable surface for absorption of run-off and the like.

f) Potential fiscal impact

In the short-term, construction jobs will be provided, permit fees generated, and materials purchased, thereby benefitting the city. In the long-term, there will be an expanded tax base associated with eight residences as compared to the current single, abandoned restaurant. The current facility is assessed by the City of Gloucester at a value of \$551,200. A comparable project to the proposed 8-unit Multi-family at 116 East Main Street is located at 3 Pirmi Lane. The ten units on Pirmi Lane have an average assessed value of \$409,200. If these assessed values are a similar value to the finished project at 116 East Main Street then the total assessed value of the proposed 8 units would be \$3,273,520. Accordingly, there will be a positive fiscal impact.

B. SPECIAL PERMIT FOR SPACING BETWEEN PRINCIPAL BUILDINGS

The Section 3.2.2, Footnote “e “ of the Zoning Ordinance requires that principal use buildings are to be spaced apart in an amount equal to their combined respective heights. In this instance, the buildings would need to be 57.2’ apart to fully comply with this requirement. Here, the buildings are proposed to be spaced 16.9’ apart. However, reductions in this spacing requirement are authorized by Special Permit issued by the City Council provided that the City Council finds that such lesser space is not be detrimental as to view obstruction, overshadowing, service access or visual crowding.

Petitioner submits that it has satisfied these requirements as follows:

- View Obstruction – Immediately behind this parcel is a large parcel that is mostly wooded that contains one single family house wherein the dwelling is located about 450’ away and approximately 75’ higher in elevation than the subject property. To the right rear of the parcel is East Gloucester Elementary School, which is about 270’ away and the land around it is approximately 30’ higher in elevation than the land at the subject parcel. Views towards the water from the convenience store, the existing multi-family dwelling located at 114 East Main Street, or the houses across the street will not be impacted by this project.

- Overshadowing – The project would comply with the thirty-foot height limitation set forth in the Zoning Ordinance. The closest point of the proposed structure to the convenience store located at 122 East Main Street is 77’ away, while the closest point to the multi-family structure at 114 East Main Street is 27.8’ away. It is worth of noting that the four-family building at 114 East Main Street is about 42’ above the ground surface and would be taller than the structures which are proposed to be built as part of this project. Moreover, based on the juxtaposition of the buildings on the site, any shadows would be cast largely toward the vast open space behind the buildings in the mornings and largely upon the open areas within property in the afternoons.
- Service Access – Each unit will have pedestrian entry and garage doors facing towards the inner part of the parcel, making for easy access by service equipment and personnel. No equipment or other components will be located in an area which will need to be accessed via the area between the two buildings. Additionally, the driveway is wide enough to allow large vehicles to enter and exit the site and all related services can be provided from the front of the buildings. It will be unnecessary to provide any service access between the buildings. In summary, the lesser than required spacing between principal buildings will have no impact at all on service access.
- Visual Crowding – As explained above in the sections covering view obstruction, the buildings will not be overcrowded in relation to buildings located on adjacent properties. Similarly the buildings on site will not look visually overcrowded as to each other due to the lesser requested space between principal buildings. Although the buildings would be closer together than required by the Zoning Ordinance, they would be setback significantly from the street a will be laid out slightly staggered as to each other and will not have a parallel look. Moreover, the westerly of the two buildings will be somewhat tucked away from view from the street as it will be located in a pan-handle shaped area of the lot somewhat behind the convenience store. Overall, this project is thoughtfully designed with the building closest to the street greater than 68’ from the front property line. In addition, there will be ample areas of green space and open space between the street and the buildings. The visual rendering shown above also indicates that visual crowding will not be an issue.

While not a standard of review in the Zoning Ordinance, it is worth noting that each building will be constructed in full compliance with state building and fire safety regulations, including being served by a sprinkler system and/or built with appropriate fire-rated materials, as might be required. Therefore, the less than required spacing will not present fire hazard issues.

C. SPECIAL PERMIT TO REDUCE REQUIRED LOT AREA PER DWELLING UNIT.
 The Zoning Ordinance, Section 3.2.2, specifies a required lot area per dwelling unit of 5,000 square feet per dwelling unit. However, Footnote “a.” of that section provides that the lot area

per dwelling unit may be reduced by Special Permit issued by the City Council upon a determination that such reduction is “in keeping with neighborhood character and structural density.” In this instance, the applicant proposes to provide a lot area per dwelling unit of 3,809 square feet.

For the following reasons, the applicant submits that a special permit should issue to allow 3,809 per dwelling unit:

- Consistent with neighborhood character – As explained above, the East Gloucester neighborhood along this portion of East Main Street consists of a diverse and eclectic mix uses, many of which are located on undersized lots. The lot at issue here is one and one-half times the minimum size required for multi-family dwelling and is much larger than many of the surrounding lots. Immediately the East at 114 East Main Street is a four-family structure and a convenience is located immediately to the west at 122 East Main Street. Across the street at 135 East Main Street is a garage-type building listed by the city as being a retail use, and there is a multi-building residential complex at 125 East Main Street. There is also a two-family unit at 110 East Main Street. The neighborhood character is mixed, is not consistent, and contains other multi-family units. Also, as indicated below, many of the properties in the immediate area do not provide for 5,000 square feet per dwelling unit and the average number of square feet per dwelling in the area is far less than that being provided here.
- Consistent with structural density - Almost every nearby parcel is more densely configured than the neighborhood zoning would allow. Undersized and occupied parcels exist across the street at 125, 131 and 135 East Main Street, and on the same side of the street at 110, 114 and 122 East Main Street. Much of this historic neighborhood is more densely developed than contemporary current zoning standards warrant.

The applicant analyzed all residential properties on East Main Street between Chapel Street and Hammond Street, such properties being identified on the map below:



Based on this analysis, the average lot area per dwelling unit in this neighborhood is 1,308 square feet, which is 2,501 square feet less than the 3,809 square feet requested by the applicant. This analysis was conducted using data obtained from the Assessor's Office. A spreadsheet detailing this analysis is attached hereto as Exhibit A.

D. SPECIAL PERMIT TO REDUCE OPEN SPACE PER DWELLING

Gloucester Zoning Ordinance, Section 3.2.2, specifies a required open space area per dwelling unit of 3,500 square feet. However, Footnote "a." of that section provides that the lot area per dwelling unit may be reduced by Special Permit issued by the City Council upon a determination that such reduction is "in keeping with neighborhood character and structural density." In this instance, the applicant proposes to provide 1,479.50 square feet per dwelling unit. Open space is defined in the Zoning Ordinance as remaining lot area after excluding buildings, driveways and parking areas. The current configuration of the parcel provides for 9,996 sq. ft of open space, while the proposed condition will provide for 11,836 sq. ft. of open space. This results in a significant improvement over current conditions.

Exhibit A referenced above also contains a less scientific analysis of the open space per dwelling unit as compared to the lot area per dwelling unit. Due to the difficulty in determining what portions of the various neighborhood parcels are dedicated to driveways and the like, which are excluded from the definition of open space, the analysis undertaken considered only the first floor footprint of each structure, essentially the lot coverage. Accordingly, the resulting open space per dwelling unit calculated from this lot coverage amount in fact includes driveways. So, the average for the neighborhood as provided is actually less than the average that would be ascertained if driveway areas were excluded. Using this method, the neighborhood average was 1,101 square feet. For the sake of consistency, using this same method for this site, the resulting number was 2,785 square feet per dwelling unit. The actual open space per dwelling for this site as calculated using the definition in the Zoning Ordinance is 1,479.50 square feet (11,836 sq ft/8), which is *still* larger than the overly inclusive 1,101 square feet for the neighborhood as calculated using the method described above.

Reductions to the open space area requirement may be issued by the City Council if it is determined that it is keeping with neighborhood character and structural density. These matters will not be a concern for the following reasons:

- Consistent with neighborhood character – The East Gloucester neighborhood along East Main Street is a mixture of single family, multi-family, businesses, a fish processing facility, a writing center and a theater stage company. Many of these parcels are extensively occupied with buildings and driveways. For example, immediate to the property at 114 East Main Street is a 4 unit multi-family structure which is about 80%

covered in buildings and driveway and there is a convenience store at 122 East Main Street which appears to be almost 100% devoid of open space.

Across the street at 135 East Main Street is a garage-type building listed by the city as being a retail use which has about 95% building and driveway, a multi-building residential complex at 125 East Main Street which appears to be about 85% buildings and driveway. There is a two-family unit at 110 East Main Street which contains about 65% coverage by buildings and driveways. As can be seen, the neighborhood is characterized by parcels with very little open space.

- Consistent with structural density - Almost every nearby parcel is more densely configured than the neighborhood zoning would allow. Undersized and occupied parcels exist across the street at 125, 131 and 135 East Main Street, and on the same side of the street as the proposed project at 110, 114 and 122 East Main Street. Immediately across the street, all three structures are located within 5' of the sidewalk. These parcels generally have a lower percentage of open space on the lot than proposed for this project. It is also significant to note in addition to the open space on this parcel, there is a nearby park at Solomon Jacobs and several easy walking routes to the water from this parcel. The individual units will have a recreational area located behind the structures for passive, open space-related activities. In any event, as shown above, the open space per dwelling unit being provided here is far greater than the neighborhood average, thereby making the requested lesser amount of open space here easily consistent with and in fact greater than the open space per dwelling unit on average in the immediate area.

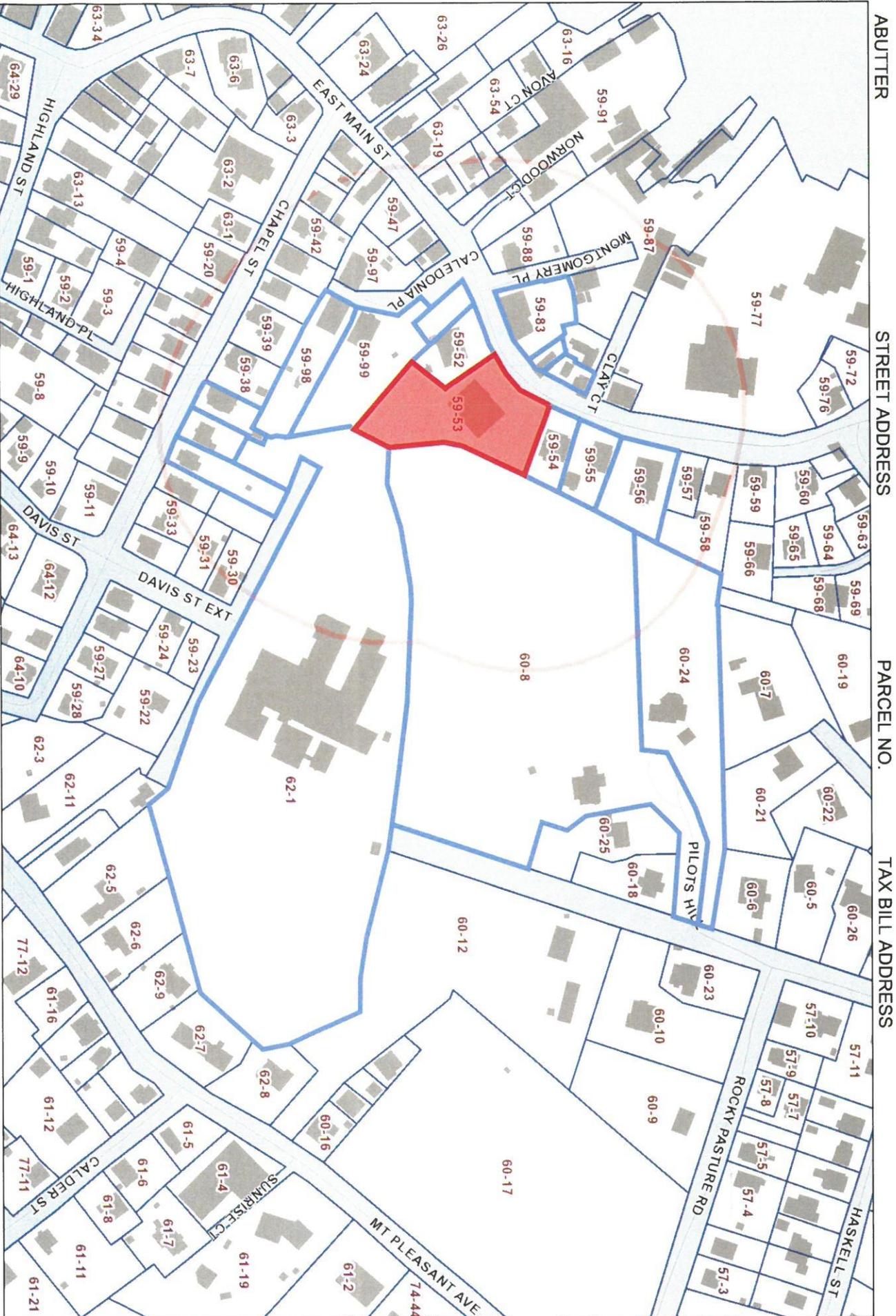


City of Gloucester Abutters Report

Abutters to Parcel: Map-Lot-Unit **59-53**

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel Known as Map 59 Lot 53 as further shown on the attached map dated 10/1/2018.





City of Gloucester Abutters Report

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.
Gloucester Board of Assessors.

Abutters to Parcel: Map-Lot-Unit **59-53**

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 59 Lot 53 as further shown on the attached map dated 10/1/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
59-98 MARSHALL MARIE	6 CALEDONIA PL	59-98	MARSHALL MARIE 6 CALEDONIA PL GLOUCESTER, MA 01930
59-99 AKERLEY ELIZABETH B	10 CALEDONIA PL	59-99	AKERLEY ELIZABETH B 147 EAST MAIN ST GLOUCESTER, MA 01930
59-37 BLATCHFORD PRISCILLA M	16 CHAPEL ST	59-37	BLATCHFORD PRISCILLA M 16 CHAPEL ST GLOUCESTER, MA 01930 0000
59-36 MCARDLE ANN	18 CHAPEL ST	59-36	MCARDLE ANN 18 CHAPEL ST GLOUCESTER, MA 01930
59-35 HILSHEY ELIZABETH M	20 CHAPEL ST	59-35	HILSHEY ELIZABETH M 20 CHAPEL ST GLOUCESTER, MA 01930
60-24 ROSS AMY BELL & MILLS RICHARD P	11 PILOTS HL	60-24	ROSS AMY BELL & MILLS RICHARD P 11 PILOTS' HL GLOUCESTER, MA 01930
60-8 BATCHELDER DOROTHY	14 PILOTS HL	60-8	BATCHELDER DOROTHY 14 PILOTS' HL GLOUCESTER, MA 01930
62-1 GLOUCESTER CITY OF	8 DAVIS ST EX	62-1	GLOUCESTER CITY OF 9 DALE AV GLOUCESTER, MA 01930
59-56 ROCHFORD WILLIAM C JR	108 EAST MAIN ST	59-56	ROCHFORD WILLIAM C JR PO BOX 1265 MARBLEHEAD, MA 01945-5265
59-55 SALMON M.R SALMON C S 1/2 MILL	110 EAST MAIN ST	59-55	SALMON M.R SALMON C S 1/2 MILL 110 EAST MAIN ST GLOUCESTER, MA 01930



City of Gloucester Abutters Report

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

Abutters to Parcel: Map-Lot-Unit **59-53**

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters for the Parcel known as Map 59 Lot 53 as further shown on the attached map dated 10/1/2018.

ABUTTER	STREET ADDRESS	PARCEL NO.	TAX BILL ADDRESS
59-54 SCOTT REAL ESTATE LLC	114 EAST MAIN ST	59-54	SCOTT REAL ESTATE LLC 36 GRAPEVINE RD GLOUCESTER, MA 01930
59-53 SON LLC	116 EAST MAIN ST	59-53	SON LLC 7 EASTERN AV BEVERLY, MA 01915
59-52 120 EAST MAIN STREET LLC	122 EAST MAIN ST	59-52	120 EAST MAIN STREET LLC 140 EAST MAIN ST GLOUCESTER, MA 01930
59-51 120 EAST MAIN STREET LLC	122A EAST MAIN ST	59-51	120 EAST MAIN STREET LLC 140 EAST MAIN ST GLOUCESTER, MA 01930
59-81 COOPERMAN KENNETH W	125 EAST MAIN ST	59-81	COOPERMAN KENNETH W 26 OVERLOOK DR #E FRAMMINGHAM, MA 01701
59-82 KIM YOUNG KIRL & KIM SOON HAK	131 EAST MAIN ST	59-82	KIM YOUNG KIRL & KIM SOON HAK 131 EAST MAIN ST GLOUCESTER, MA 01930
59-83 BENT PETER VAN PELT	135 EAST MAIN ST	59-83	BENT PETER VAN PELT 139 EAST MAIN ST GLOUCESTER, MA 01930 0000



City of Gloucester Abutters Report

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements.

Gloucester Board of Assessors.

Abutters to Parcel: Map-Lot-Unit **59-53**

This list of owners of record as shown on the most recent tax list of the City of Gloucester has been prepared for the purposes of notifying abutters as required by the City's Zoning Board of Appeals or City Council and it reflects the abutters to the Parcel known as Map 59 Lot 53 as further shown on the attached map dated 10/1/2018.

ABUTTER

STREET ADDRESS

PARCEL NO.

TAX BILL ADDRESS

The Gloucester Board of Assessors certifies that the Abutters Report program written to create a list of the names and addresses of property owners from the applicable tax list has been reviewed. To the best of our knowledge and belief the Abutters Report program generates an accurate list from the most recent tax list of the assessed owner of record and the mailing information of the parties in interest as defined within and required by the law and therefore the within document constitutes a certified abutters list.

Nancy A. Papows, MAA

Gary I. Johnstone, MAA

Bethann Brousseau, MAA

GLoucester BOARD OF ASSESSORS

City of Gloucester Assessors' Office, City Hall, 9 Dale Avenue, Gloucester, MA 01930

10/1/2018



CITY OF GLOUCESTER
ZONING BOARD OF APPEALS
3 POND ROAD, GLOUCESTER MA 01930

8/9/2018

PETITIONER: SON, LLC, 7 Eastern Avenue, Beverly, Massachusetts, by and through Bevilaqua Company, Inc.

LOCUS (hereafter, the "Site"): 116 EAST MAIN STREET, GLOUCESTER, (Assessor's Map 59, Lot 53).

RELIEF REQUESTED:

1. Variance to reduce required rear yard setback (Section 1.7 of the Zoning Ordinance).
2. Variance to reduce required left side yard setback (Section 1.7 of the Zoning Ordinance).
3. Variance to reduce required right side yard setback (Section 1.7 of the Zoning Ordinance)

PURPOSE OF PETITION: To enable Petitioner to apply to the City Council to tear down and rebuild existing restaurant building and replace it with an eight-family residential use housed in two separate, four-unit buildings ("Proposed Construction").

ZONING DISTRICT: NB (Neighborhood Business)

HEARING DATE, TIME AND PLACE: Hearing advertised for April 26, 2018, Gloucester City Hall, 9 Dale Avenue, Gloucester, Massachusetts. Hearing opened and continued on Board motion to May 31, 2018 to allow for a site visit. Site visit meeting held May 12, 2018. Hearing again continued by request of Petitioner to July 26, 2018 to facilitate change in project plans and neighbor site visit. By request of Petitioner, hearing continued to August 9, 2018 to allow neighbors time to review revised plans. Petitioner executed waivers of timeframes for both public meeting and decision.

BOARD MEMBERS PRESENT & VOTING:

DAVID B. GARDNER, Chairman
JOSEPH PARISI, III, Vice Chairman
MICHAEL NIMON
SAGE WALCOTT
KRIS HOWARD

CITY CLERK
GLOUCESTER, MA
2018 OCT -2 PM 2:05

PETITIONER REPRESENTED BY: Salvatore J. Frontiero, Esq., Frontiero Law Office, P.C., 46 Middle Street, Gloucester.

APPEARING IN FAVOR OF THE PETITION: Several residents spoke in favor of the petition. Reference is made to the minutes of the meeting and the record for a list of those who spoke in favor.

APPEARING IN OPPOSITION TO THE PETITION: Several residents spoke in opposition to the petition. Reference is made to the minutes of the meeting and the record for a list of those who spoke against the petition.

PLANS, ELEVATIONS, ETC., SUBMITTED IN SUPPORT OF THE PETITION (Hereinafter, the “Project Plans”):

Site plan entitled “Existing Conditions--Development Plan for 116 East Main Street, Gloucester, Massachusetts,” dated May 4, 2018 and revised July 19, 2018, by Mill River Consulting.

Site plan entitled “Proposed Site Conditions--Development Plan for 116 East Main Street, Gloucester, Massachusetts,” dated May 4, 2018 and revised July 19, 2018, by Mill River Consulting.

Site plan entitled “Proposed Open Space Conditions--Development Plan for 116 East Main Street, Gloucester, Massachusetts,” dated May 4, 2018 and revised July 19, 2018, by Mill River Consulting.

Site plan entitled “Permit Plan--Development Plan for 116 East Main Street, Gloucester, Massachusetts,” dated May 4, 2018 and revised July 19, 2018, by Mill River Consulting.

Elevation plans entitled “116 East Main Street, Gloucester, MA,” dated July 20, 2018, by Savoie Nolan Architects, LLC

Floor plans entitled “116 East Main Street, Gloucester, MA,” dated July 20, 2018, by Savoie Nolan Architects, LLC

SITE VISIT PHOTOGRAPHS: Petitioner submitted a wide-angle schematic superimposing the proposed structures on to the Site.

PHOTOGRAPHS BY OTHERS: None.

OTHER LETTERS, REPORTS, DOCUMENTS, ETC., SUBMITTED IN SUPPORT OF THE PROJECT: Several residents submitted letters in support of the Petition. Reference is made to the minutes of the meeting and the record for a list of those who submitted such letters.

OTHER LETTERS, REPORTS, DOCUMENTS, ETC., SUBMITTED IN OPPOSITION OF THE PROJECT: Several residents submitted letters in opposition to the Petition. Reference is made to the minutes of the meeting and the record for a list of those submitted such letters.

FACTUAL FINDINGS BY THE BOARD:

1. The Petitioner, Son, LLC, owns the Site and Beviliqua Company, Inc. has executed a purchase and sale agreement to purchase the Site, conditioned upon obtaining the within zoning relief, as well as relief from the City Council. For the purposes of this petition, Beviliqua Company, Inc. is the applicant by and through Son, LLC.
2. The Site consists of a 30,474 square foot parcel of land on East Main Street located in a mixed used neighborhood in the Neighborhood Business Zone. The lot is irregularly shaped as it gets wider and juts out to the right/Westerly direction in the rear, resulting in a somewhat panhandled-shaped lot. The Site slopes upward from front to rear and there is a large ledge outcropping at the rear of the lot.
3. Immediately adjacent to the Site to the right/West is a convenience store/gas station abutting East Main Street and another residence behind that and immediately to the left is a property containing a four-family residential structure. The Site abuts a residence and East Gloucester Elementary School to the rear. There are both commercial and residential properties located across the street. The change in elevation at the Site from front to rear results in the lots to the rear being significantly higher in elevation than the Site. Moreover, there is significant undeveloped land to the rear. As a result, the home that is abutting to the rear at 14 Pilots Hill Road is 453 feet away from the Site and 75 feet higher in elevation than the existing restaurant building on Site. The school building on the other property immediately abutting to the rear at 9 Davis Street extension is 270 feet from the Site and 30 feet higher in elevation than the restaurant building.
4. The Site presently contains a closed-down restaurant and nearly the entire parcel is paved. The Site has been used for a restaurant for decades and Petitioner proposes to change the use of the Site to eight-family residential use. The Petitioner's initial proposal has changed from the initial filing, wherein Petitioner requested a ten-family use housed in three buildings, with each unit containing four stories, including drive-under garages. The average heights of the buildings in the original filing was over forty feet. Petitioner's proposed changes resulted in the reduction in number of residential units by two and the elimination of the fourth/top story, thereby bringing the average height in compliance with the thirty-foot height limitation. Petitioner also redesigned the parking, driveway and open space areas and eliminated entirely a two-unit building originally proposed near East Main Street. These changes resulted in the elimination of several forms of relief originally requested in the Petition.
5. The final design proposes two four-unit buildings set toward the rear of the Site with the area in front of the buildings being dedicated to driveways, parking areas and green space.
6. Those who spoke in favor of the Petitioner generally referenced (1) the need for more multi-family housing, including the need for more affordable units, (2) the elimination of a restaurant use with a recent problematic history and (3) their belief that the change of use would be beneficial from both parking and traffic congestion perspectives.
7. Those who spoke in opposition generally referenced (1) concerns about traffic and parking, (2) the number of units, (3) the location of the buildings, particularly the original proposal to locate one building at the front-left corner of the Site, (4) the overall height of the buildings, (5) the aesthetics and design of the project, (6) the environmental effects of the project, including providing green space, (6) its effect on City infrastructure, (7) the detrimental effects of blasting any ledge and (8) the overall effect of the project on the character of the neighborhood.

8. It is important to note that this Board's role is limited to rendering a decision on the variance requests related to the required yard setbacks. The purpose of the petition is to enable the Petitioner to apply to the City Council for a special permit to allow the 8-unit use and special permits to reduce lot area per dwelling unit, open space per dwelling unit and space between principal buildings. Accordingly, many of the issues raised both in favor and in opposition of the Petition will be addressed anew by the City Council in deciding whether to grant the foregoing special permits. The Board considered both the concerns raised by both those speaking in favor and against the petition to the extent applicable in applying the variance standard as set forth below. It is worthy of note that the Petitioners design changes explained above addressed many of the concerns raised by those in opposition.

STANDARD TO BE APPLIED BY THE BOARD:

Variations for Two Side Yard Setbacks and Rear Yard Setback (Section 1.7 of the Zoning Ordinance)

Pursuant to Section 1.7.2 of the Zoning Ordinance, in considering whether to grant a variance the Board must find that a literal enforcement of the provisions of the ordinance would involve a substantial hardship, financial or otherwise, to petitioners. Furthermore, the Board must make two additional findings: (1) that the hardship is going to arise from circumstances relating to the soil conditions, shape, or topography of the land or structure(s) in question, which circumstances particularly affect such land or structure(s) but which do not generally affect the zoning district in which they are located; and (2) that the desired relief may be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the Zoning Ordinance.

DECISION OF THE BOARD:

In accordance with Section 3.2.2 of the Zoning Ordinance, multi-family dwelling buildings in the NB zone must comply with the dimensional requirements of the nearest residential zone, which in this case is the R-10, Medium to High Residential Density Zone. That zone requires a minimum lot size of 20,000 square feet for multi-family dwellings and requires that the the minimum front, rear and side yard setback be at least twenty feet *plus* one foot for each foot that the proposed building exceeds fifteen feet in height. Here, the average height of the higher of the two buildings is 29 feet. Applying the foregoing formula, the Zoning Ordinance requires front, side and rear yard setbacks of 34 feet in this situation.

First, for the following reasons this Board finds that (1) a literal enforcement of the setback dimensional requirements in this case would cause substantial hardship to the Petitioner and (2) such hardship is owing to the shape of the Site. The Site is more than one and one half times the 20,000 square foot minimum lot size required in this zoning district for multifamily dwellings. However, as stated, the Site has an odd panhandle-like shape. The Petitioner presented a schematic showing that, despite the more than adequate lot size, applying the required setback for a thirty-foot high building would result in a 7,794 square foot legal building area, which is only 25.57 % of the Site's total lot area. Moreover, of this legal building area, approximately 2,085 is not useable as a practical matter, as it is a "dog legged" shaped area of building envelope

located in the panhandle rear section of the Site. In this portion of the Site, the allowed building area that results is a dog-legged-shaped portion that narrows to sixteen feet where it meets the remainder of the allowable building area. This narrowing to sixteen feet makes it difficult to use the dog-legged portion of the building area in any meaningful building design. After subtracting this practically unusable building area, what is left is a 5,709 square foot building envelope located in the middle of the remaining portion of the Site. This remaining area is only eighteen percent of the Site's total 30,474 square foot lot area. It is worthy to note that the maximum lot coverage allowed in this zoning district is thirty percent of the lot area. In summary, this all results in a Site that contains more than one and one-half times the minimum required lot size,

BASED ON THESE FINDINGS, AND SUBJECT TO THE GENERAL AND SPECIAL CONDITIONS SET FORTH BELOW, THE BOARD GRANTS PETITIONER VARIANCES, AS FOLLOWS:"

DIMENSIONAL REQUIREMENT	REQUIRED	EXISTING	PROPOSED	RELIEF GRANTED
Rear yard setback	34.0'	106.1'	4.3'	29.7' +/-
Right side yard setback	34.0'	7.8'	15.2'	18.8' +/-
Left Side yard setback	34.0'	61.7'	7.6'	26.4'+/-

GENERAL CONDITIONS:

1. All work authorized by this decision shall be in accordance with the above-referenced Project Plans, which have been stamped and endorsed by the Board Chairman and which are the sole plans of record in this matter. Any unauthorized deviation from the Project plans or these general and special conditions set forth below may result, following a public hearing, in revocation of the special permits and variances.
2. Any proposed modification or change in the Project Plans shall require a modification of the special permits and variances that have been granted hereby, following a duly noticed public hearing.
3. This decision shall not take effect until notice thereof is filed in the Essex County Registry of Deeds. The fee for filing such notice shall be paid by petitioner. Prior to filing this decision with the Registry of Deeds, petitioner shall have the Seal of the City affixed to same.

SPECIAL CONDITIONS:

1. The Petitioner shall not conduct any blasting on Site. Any ledge removal shall be facilitated by chipping with an excavator and the like.

VOTE OF THE BOARD:

In favor:



DAVID B. GARDNER, Chairman



JOSEPH PARISI, III, Vice Chairman



SAGE WALCOTT

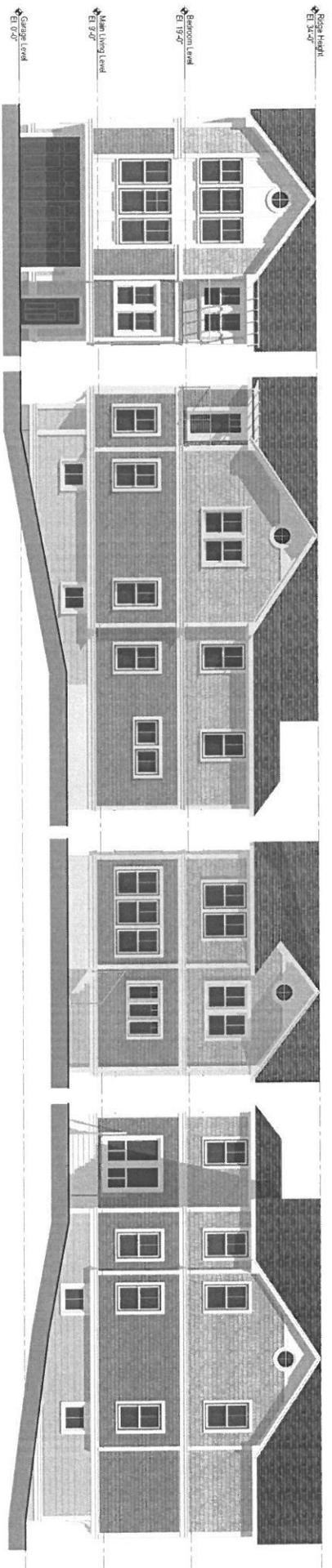


MICHAEL NIMON



KRIS HOWARD

In Opposition: None.



Front (Northwest) Elevation - Option A
Scale: 1/8" = 1'-0"

Side (Southwest) Elevation
Scale: 1/8" = 1'-0"

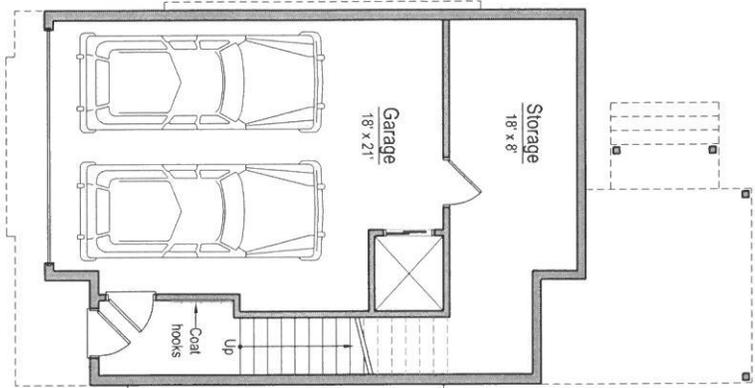
Rear (Southeast) Elevation
Scale: 1/8" = 1'-0"

Side (Northeast) Elevation
Scale: 1/8" = 1'-0"

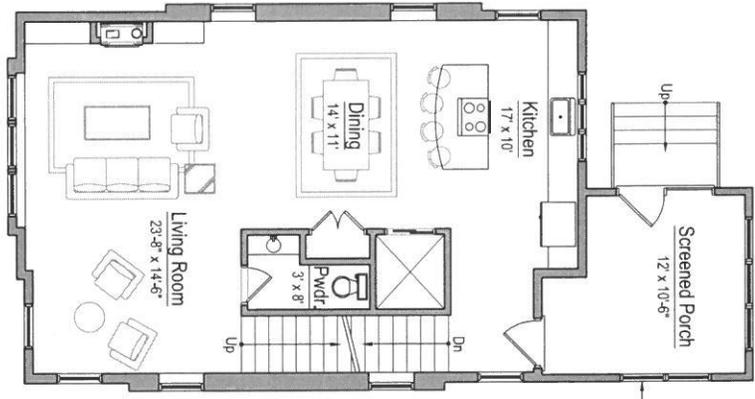


Front (Northwest) Elevation - Option B
Scale: 1/8" = 1'-0"

4 Block Building - Front (Northwest) Elevation
Scale: 1/8" = 1'-0"

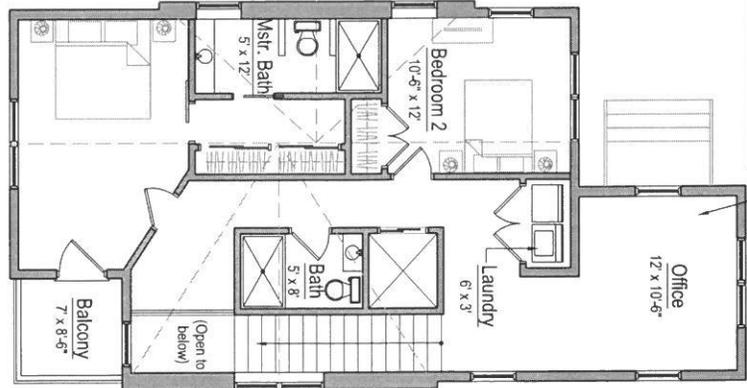


Garage Level
Scale: 1/8" = 1'-0"



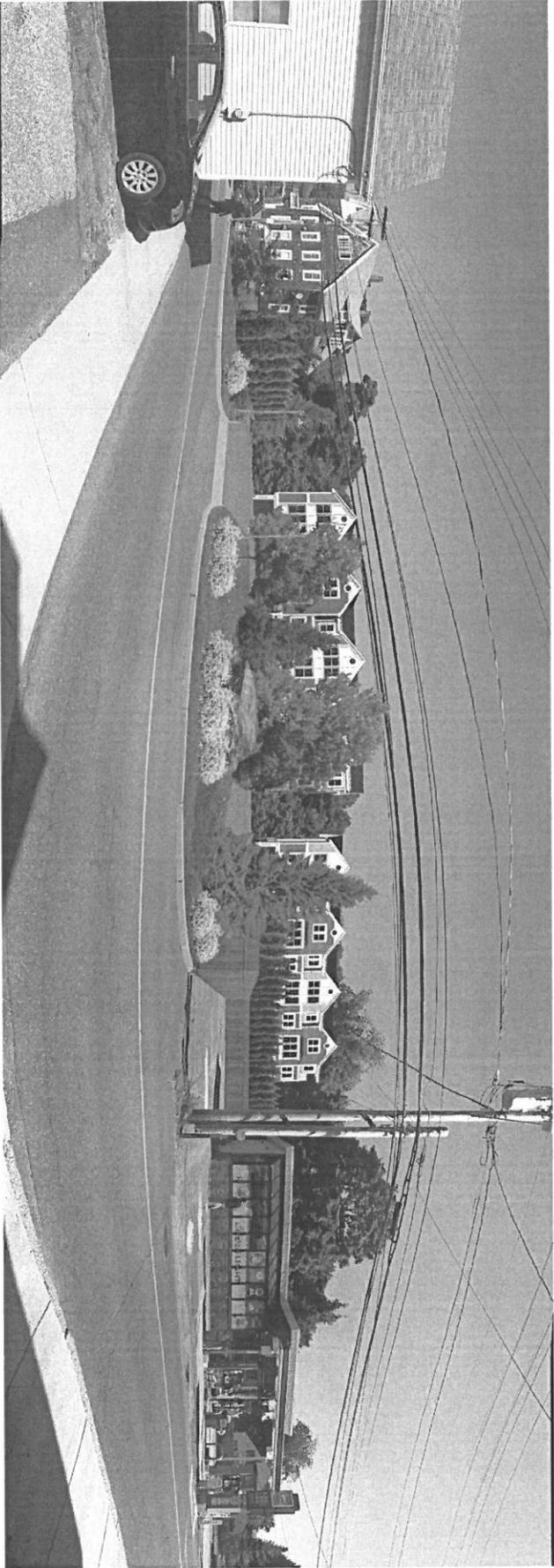
Main Living Level
Scale: 1/8" = 1'-0"

High windows to allow light, but screen adjacent unit

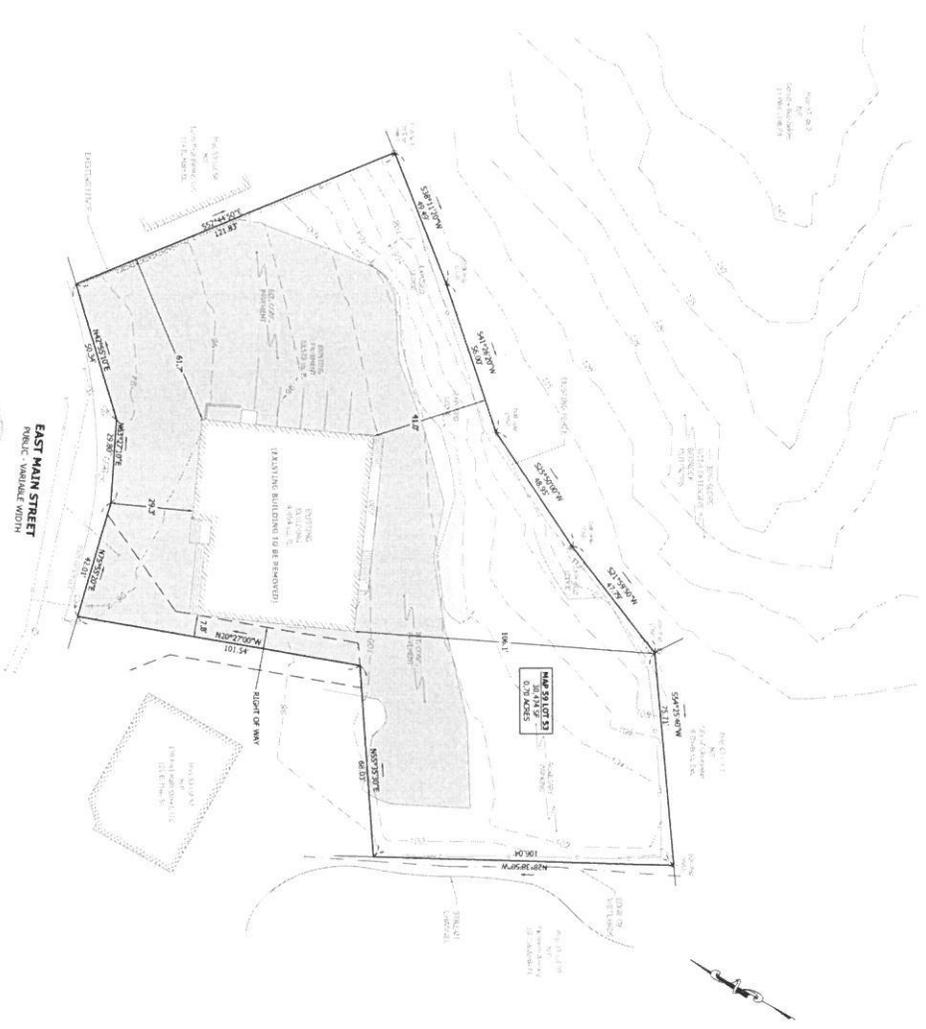


Bedroom Level
Scale: 1/8" = 1'-0"

Note:
Optional Bedroom. Project not to exceed a total of 20 bedrooms



8 Unit Proposal



EXISTING CONDITIONS

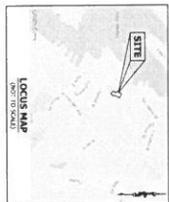
GRAPHIC SCALE: 1" = 20'



LEGEND

- GAS LINE
- GAS STOP
- SEWER MANHOLE
- UTILITY POLE
- UTILITY POLE ENLIGHTEN
- DRAINAGE DITCH
- PROPERTY LINE
- CONTOUR LINE
- CHAIN LINK FENCE
- STONE WALL

- Assessor:**
Map 59, Lot 53
- Zoning:**
Zoning District - NB
Use dimensional setbacks of adjacent zoning district:
R-10 - Medium/High Density Residential
- Record Owners:**
Gloucester Egress, Inc.
Beverly, MA 01915
- Legal References:**
1. Plat # 44278
2. Land Court Plan #15548
3. Plat Book 254 Plan 18
4. Plat Book 321 Plan 18
- NOTES:**
1. Plans were developed by an on the ground survey
2. Topography shown for adjacent parcel provided by City of Gloucester



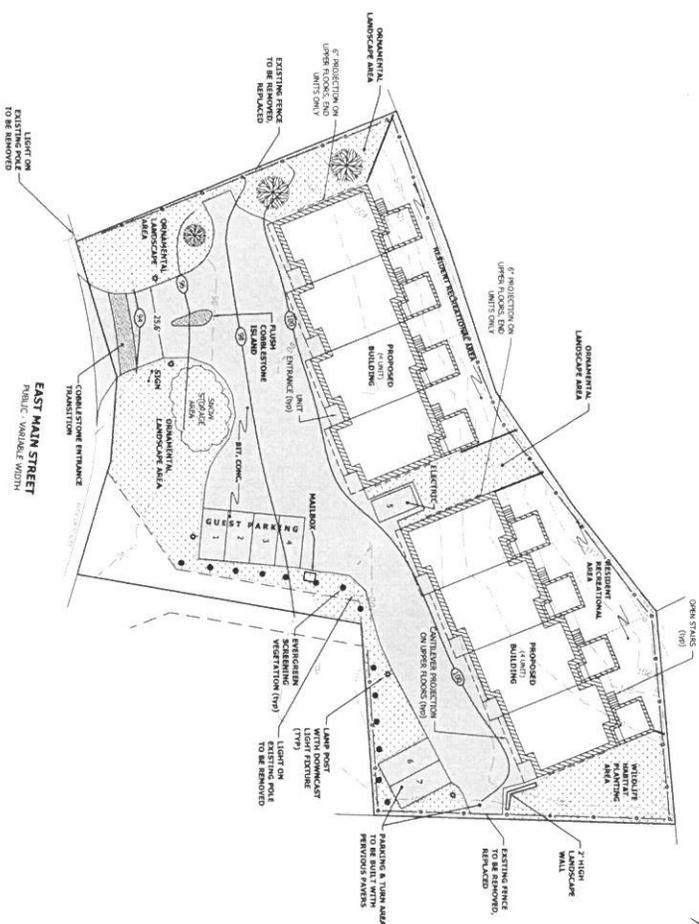
Mill River Consulting
6 Sargent Street, Gloucester, Massachusetts
Phone: 978-282-0014 www.millriverconsulting.com

Development Plan for
116 East Main Street, Gloucester, Massachusetts
Map 59, Lot 53
April 4, 2018

Sheet 1 of 4

DATE	REVISION	BY
02/18	City entry, review & record	SK
02/18	City entry, review & record	SK
02/18	City entry, review & record	SK

Prepared For:
The Beclacqua Company, Inc.
P.O. Box 812704
Wellesley, MA 02482



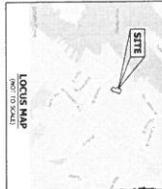
PROPOSED SITE CONDITIONS



- NOTES:**
1. No common trash service will be provided. Each unit will be under contract with private trash service company.
 2. Utility connections to be provided will include:
 - 2.1. Potable water
 - 2.2. Fire service water
 - 2.3. Sewer
 - 2.4. Storm sewer
 - 2.5. Communication
 3. Property to be served by a single common water meter need from Building Inspector and Board of Health.
 4. Fire to construction, permits needed from GPM for curb cut, sewer connection, domestic water connection, fire hydrant connection.
 5. Fire to construction, permits needed from GPM for curb cut, sewer connection, domestic water connection, fire hydrant connection.
 6. Compliance with drainage production of any ordinance will occur through connection of stormwater system on the property to municipal stormwater collection system.
 7. The property is zoned R-1 and is subject to the rules and regulations of the Town of Gloucester, Massachusetts, as certified by the International Dark Sky Association.

LEGEND

○	OUTLET
○	GRASS
○	SEWER MANHOLE
○	UTILITY POLE
○	UTILITY POLE W/ LIGHT
○	DELL POLE
○	POLE W/ 600
○	PROPERTY LINE
○	CONCRETE FENCE
○	STONE WALL



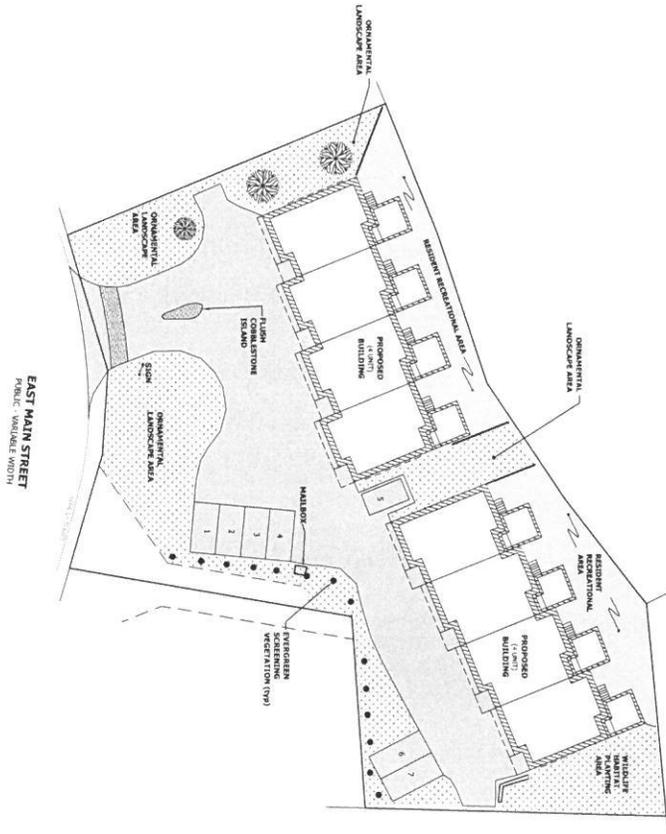
Prepared For:
 The Beilacqua Company, Inc.
 P.O. Box 812704
 Wellesley, MA 02482

DATE: 6/27/18
SCALE: 1/8" = 1'-0"

REVISION:
 6/27/18 On site, review 184
 7/18/18 On site, review 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Mill River Consulting
 6 Sargent Street, Gloucester, Massachusetts
 Phone: 978-282-0014 www.millriverconsulting.com

Development Plan for
 116 East Main Street, Gloucester, Massachusetts
 Map 59, Lot 53
 April 4, 2018



PROPOSED OPEN SPACE CONDITIONS

GRAPHIC SCALE: 1" = 20'

HORIZ. SCALE IN FEET



NOTE:
 5,531 SQ. FT. OF PARCEL IS PROPOSED TO BE VEGETATED OR RECREATIONAL USE. NET REDUCTION OF PAVEMENT OF 4,042 SQ. FT.

NOTE:
 33.5% OF PARCEL IS PROPOSED TO BE VEGETATED OR RECREATIONAL USE.

LEGEND

	GAS GATE
	GAS STOP
	SEWER MANHOLE
	UTILITY POLE
	UTILITY POLE W/LIGHT
	HIGH PRESS. OIL BOX
	PROPERTY LINE
	CHAIN LINE FENCE
	STORM DRAIN



Mill River Consulting
 6 Sargent Street, Gloucester, Massachusetts
 Phone: 978-282-0014 www.millriverconsulting.com

Development Plan for
 116 East Main Street, Gloucester, Massachusetts
 Map 59, Lot 53
 April 4, 2018

Prepared For
 The Bealacqua Company, Inc.
 P.O. Box 812704
 Wellesley, MA 02482

DATE	REVISION	BY
05/21/18	CONVERT FROM 2018 TO 2019	MM
05/21/18	CONVERT FROM 2018 TO 2019	MM
05/21/18	CONVERT FROM 2018 TO 2019	MM

Sheet 4 of 4

